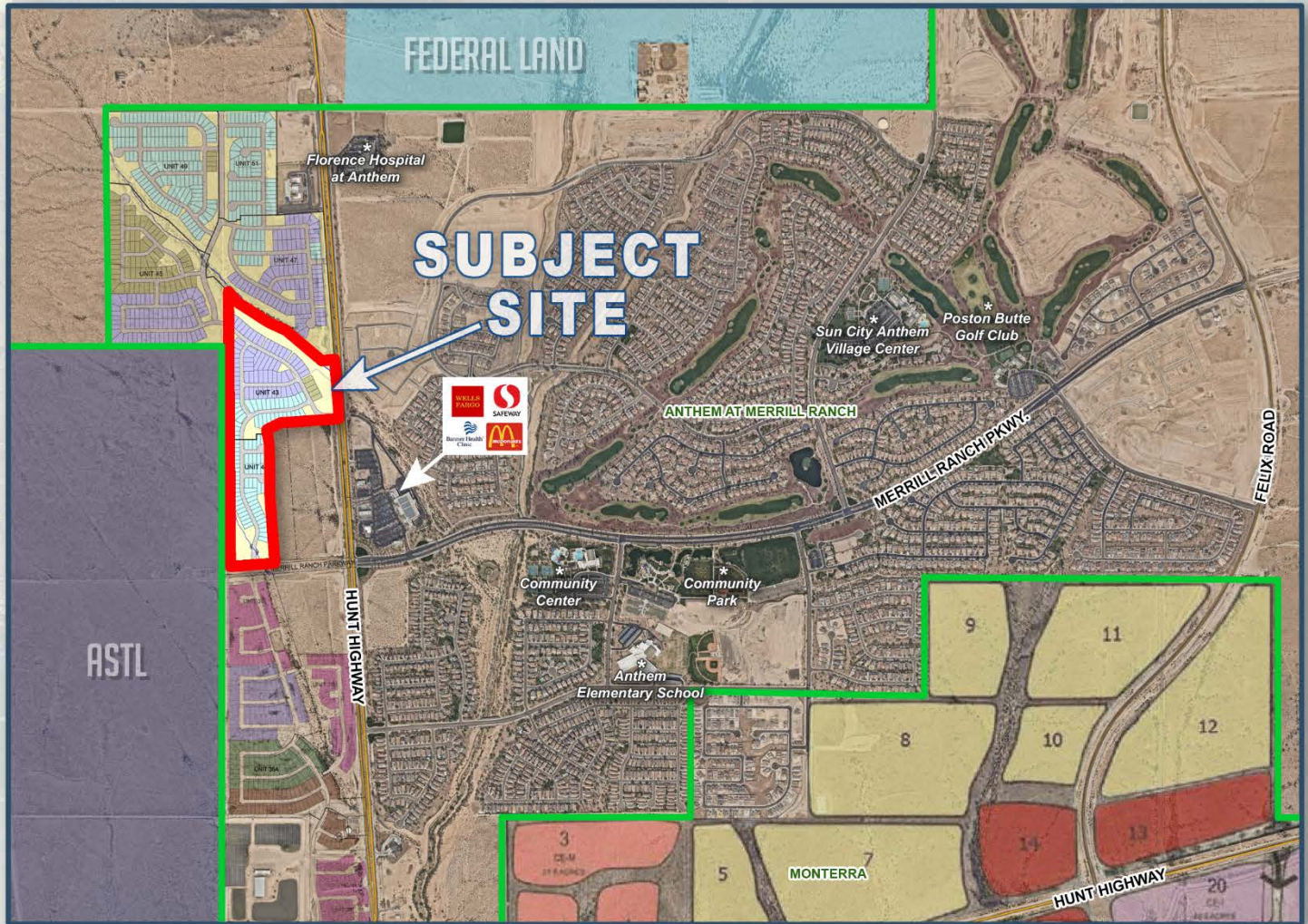


NATHAN & ASSOCIATES, INC.
EXCLUSIVELY PRESENTS

ANTHEM @ MERRILL RANCH

UNITS 41 AND 43

TOWN OF FLORENCE, ARIZONA



NATHAN & ASSOCIATES, INC.
7600 E. DOUBLETREE RANCH ROAD, SUITE 150
SCOTTSDALE · ARIZONA · 85258-2156
OFFICE: 480.367.0700 · FAX: 480.367.8341
WWW.NATHANANDASSOCIATESINC.COM



ANTHEM @ MERRILL RANCH

Units 41 and 43

- Section 1* • Terms Sheets

- Section 2* • Southwest Valley Submarket Map
 • Anthem at Merrill Ranch Detail Map

- Section 3* • Community Amenities

- Section 4* • Lotting Exhibits

- Section 5* • Final Plat

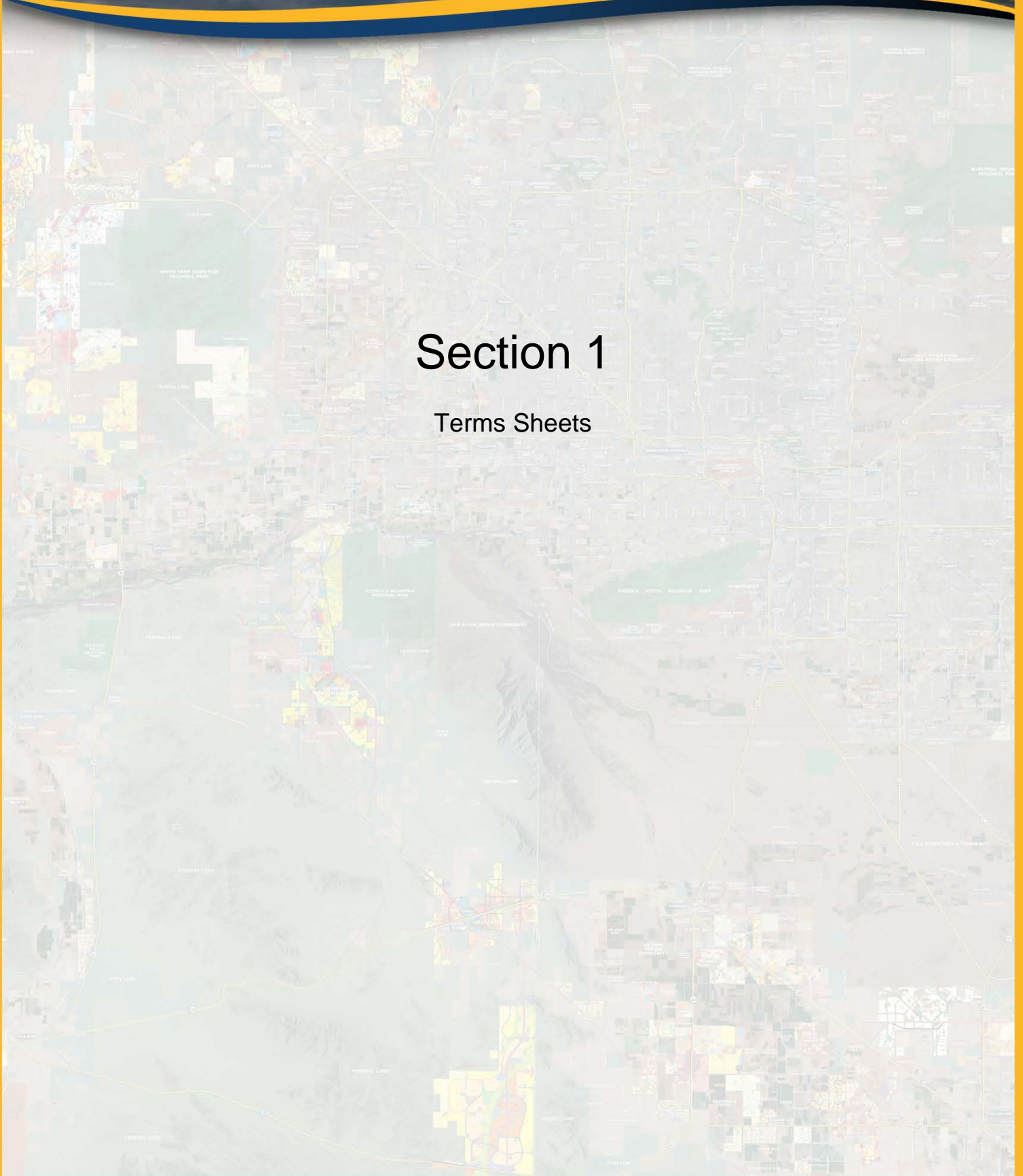
- Section 6* • Preliminary Opinion of Probable Cost Budget, Baxter
 Design Group (2/2018)



INDEX

Section 1

Terms Sheets





ANTHEM @ MERRILL RANCH

UNITS 41 AND 43

PROJECT SUMMARY:

Anthem at Merrill Ranch is a master planned community located in the Town of Florence. The overall project encompasses almost 8,700 lots, spanning 3,200 acres. Some of the many amenities include a recreation center, swimming pools, tennis courts, basketball courts, 18-hole golf course and 60-acre community park. A Safeway shopping center with various shops and restaurants is located within the community at the northeast corner of Hunt Highway and Merrill Ranch Parkway.

PROPERTY:

Unit	Number of Lots	Lot Size	Side Setbacks	Zoning	Status
41/43	89	45' x 115'	5' and 5'	PUD	Available
43	65	50' x 115'			Available
<i>Model</i>	5	55' x 115'			<i>Future Model Phase</i>

PRICE AND TERMS: CASH

Unit	Number of Lots	Lot Size	Estimated Price per Finished Lot	Estimated Land Development Costs	Price per Platted & Engineered Lot	Platted & Engineered Parcel Price
41/43	89	45' x 115'	\$47,250	\$22,410	\$24,840	\$2,210,760
43	65	50' x 115'	\$52,500	\$24,900	\$27,600	\$1,794,000

**See enclosed budget, Section 6.*

TOTAL PRICE:

\$4,004,760



ANTHEM @ MERRILL RANCH

UNITS 41 AND 43

UTILITIES:

- Electric: Arizona Public Service (APS)
- Gas: Southwest Gas
- Telephone: Cox/ Qwest or Century Link
- Cable: Cox/ Qwest or Century Link
- Solid Waste: Town of Florence
- Police: Town of Florence
- Fire: Town of Florence
- Schools: Florence Unified School District
- Sewer: Johnson Utilities Co.
- Water: Johnson Utilities Co.

SCHOOLS:

Florence Unified School District

- Anthem Elementary School (K-8)
- Florence High School (9-12)

Charter Schools

- American Leadership Academy (K-6)

DEVELOPMENT:

- Units 41 and 43 are final platted, with off-sites completed to the parcel boundary.
- Merrill Ranch Parkway west of Hunt Highway will be completed by Pulte Homes per separate agreement with Seller.
- Buyer shall be eligible to receive a \$3,500 per lot reimbursement in special assessments through the Community Facilities District for the on-site storm drain, concrete and paving.
- No obligation for Buyer to construct any Hunt highway or Merrill Ranch Parkway improvements.
- Buyer will have access to Anthem HOA amenities and can access commercial center and amenities through trail system and pedestrian crossing that runs underneath Merrill Ranch Parkway.

WATER AND SEWER FEES:

\$1,900 per Lot for Johnson Water and Sewer

HOA ASSESSMENTS:

HOA Assessment of \$118 per lot monthly.



ANTHEM @ MERRILL RANCH

UNITS 41 AND 43

IMPACT FEES:

Merrill Ranch Impact Fee Schedule vs. Southeast Valley

Impact Fee	Merrill Ranch	Florence (Non-CFD)	Florence (In CFD)	Pinal County	Queen Creek	Gilbert	Chandler
Transportation	\$641	\$2,086	\$641	\$7,197	\$631	\$423	\$3,983
Gen Gov't	\$0	\$0	\$0	\$0	\$1,218	\$383	\$97
Police	\$607	\$607	\$607	\$1,252	\$704	\$612	\$164
Fire / EMS	\$607	\$917	\$607	\$0	\$693	\$821	\$344
Parks	\$0	\$1,417	\$1,417	\$276	\$4,325	\$4,030	\$3,740
Library	\$203	\$203	\$203	\$0	\$1,370	\$0	\$75
Water (3/4")	\$0	\$1,980	\$1,980	\$0	\$0	\$6,528	\$5,053
Sewer (3/4")	\$0	\$2,140	\$2,140	\$0	\$4,942	\$5,866	\$6,553
JU Water**	\$900	\$0	\$0	\$900	\$0	\$0	\$0
JU Sewer**	\$1,000	\$0	\$0	\$1,000	\$0	\$0	\$0
O&M Fee	\$0	\$0	\$0	\$0	\$0	\$0	\$0
TOTAL	\$3,958	\$9,350	\$7,595	\$10,625	\$13,883	\$18,663	\$20,009
Savings Per Lot	-	-\$5,392	-\$3,637	-\$6,667	-\$9,925	-\$14,705	-\$16,051

**Assumed density of 4.0 dwelling units per acre*

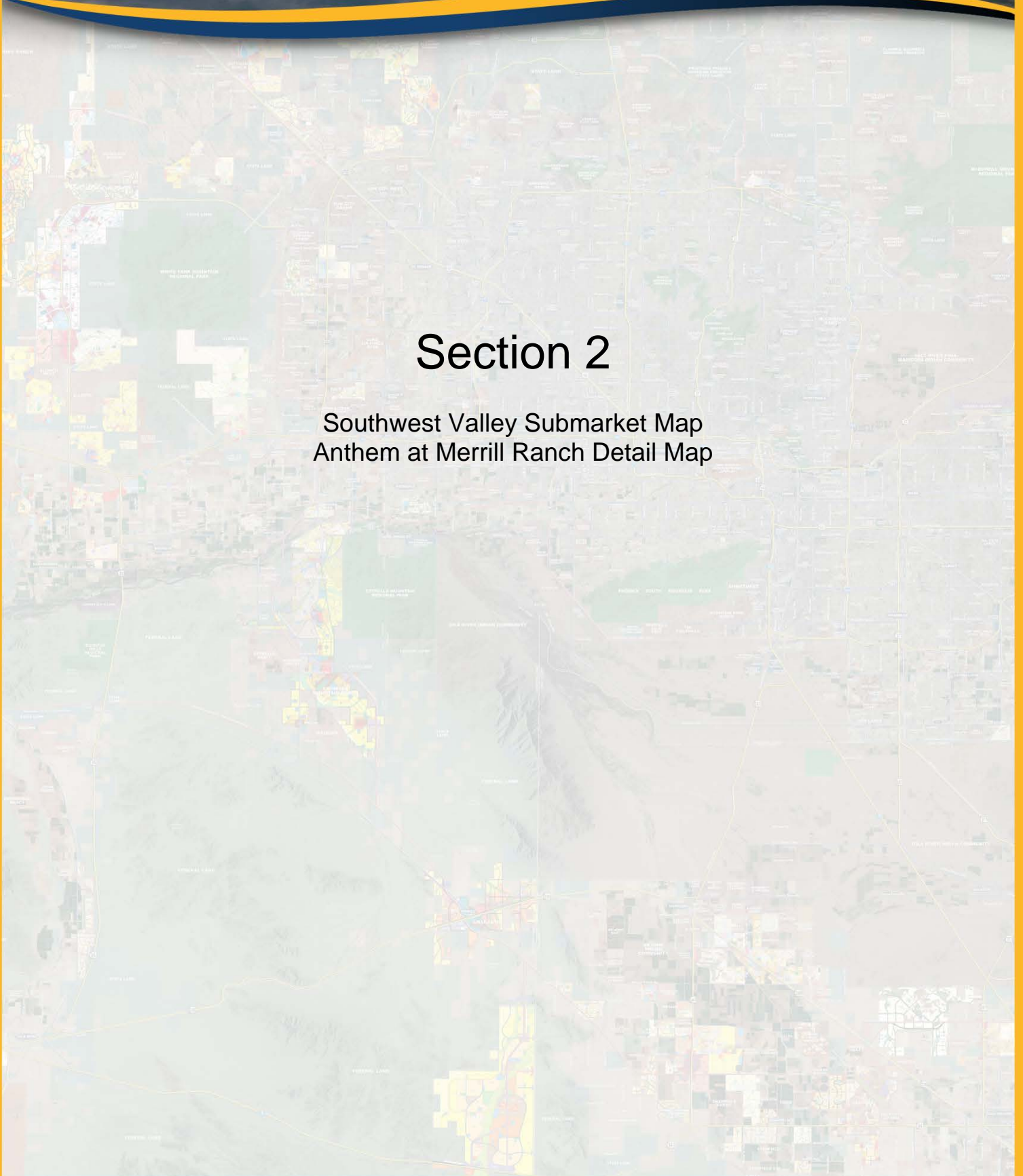
AMENITIES:

Upon recordation of the final plats the property will be annexed into Anthem at Merrill Ranch Homeowners Association (“HOA”). Once annexed, owner’s lots will have access to all community amenities, including golf course, 43,000 square foot recreation and fitness center, big splash water park, 3- story rock climbing wall, beach entry leisure pool and children’s pool, 8 lighted tennis courts, water playground, 60 – acre community park that includes sand volleyball court, 3 basketball courts, 2 soccer fields, future skate park, 3 softball and little league baseball fields, catch-and-release lake, picnic ramadas, miles of walking paths, and on-site K-8 school. See section 3 for more details.



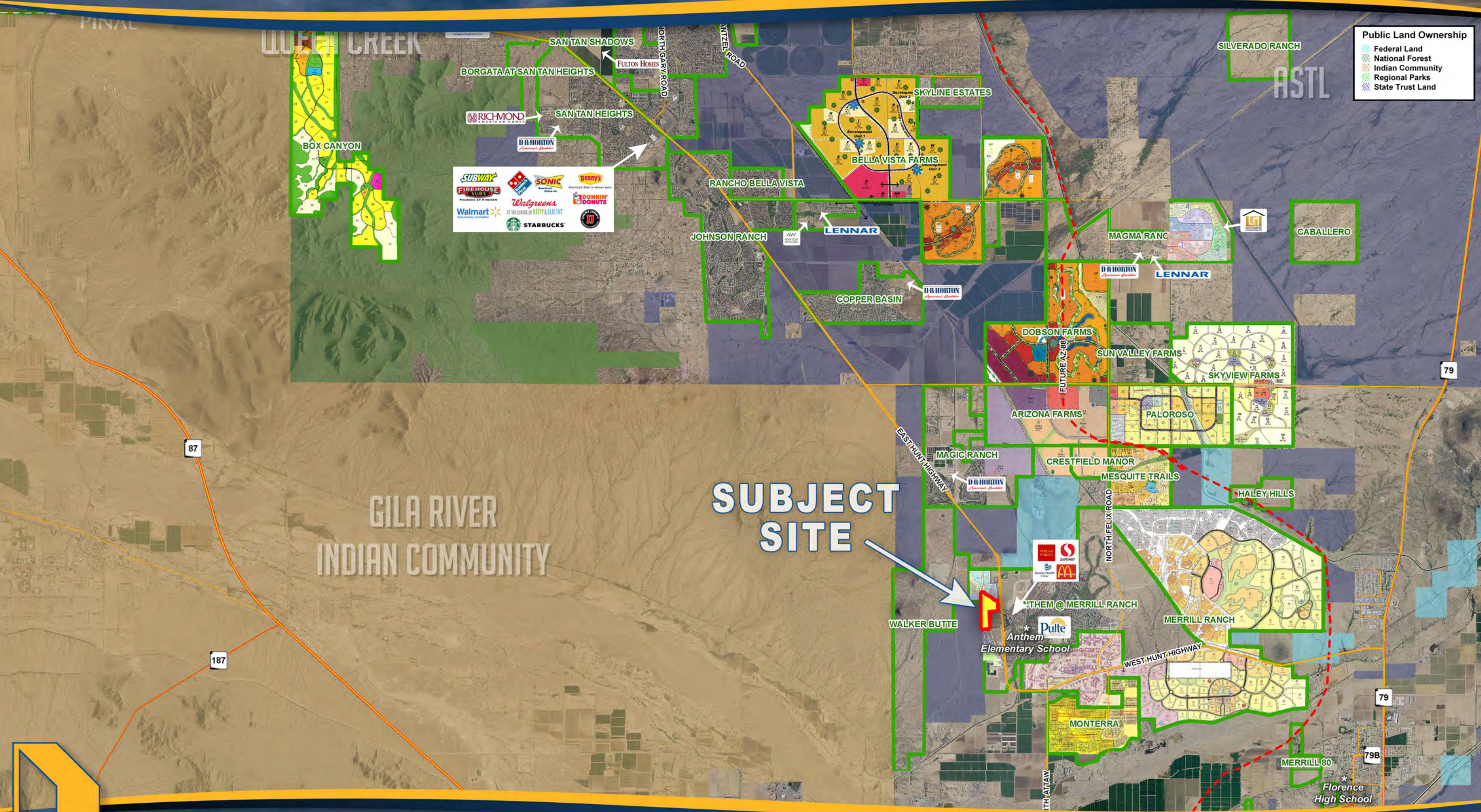
Section 2

Southwest Valley Submarket Map
Anthem at Merrill Ranch Detail Map



HUNT HIGHWAY SUBMARKET

ANTHEM @ MERRILL RANCH | UNITS 41 AND 43



Public Land Ownership

- Federal Land
- National Forest
- Indian Community
- Regional Parks
- State Trust Land



NATHAN & ASSOCIATES, INC.
 7600 E. DOUBLETREE RANCH ROAD, SUITE 150 • SCOTTSDALE • ARIZONA • 85258-2156
 OFFICE: 480.367.0700 • FAX: 480.367.8341
 WWW.NATHANANDASSOCIATESINC.COM

This map was produced using data from private and governmental sources deemed to be reliable. The information herein is provided without representation or warranty.

ANTHEM @ MERRILL RANCH

UNITS 41 AND 43



SUBJECT SITE →

Public Land Ownership

- Federal Land
- National Forest
- Indian Community
- Regional Parks
- State Trust Land

ASTL



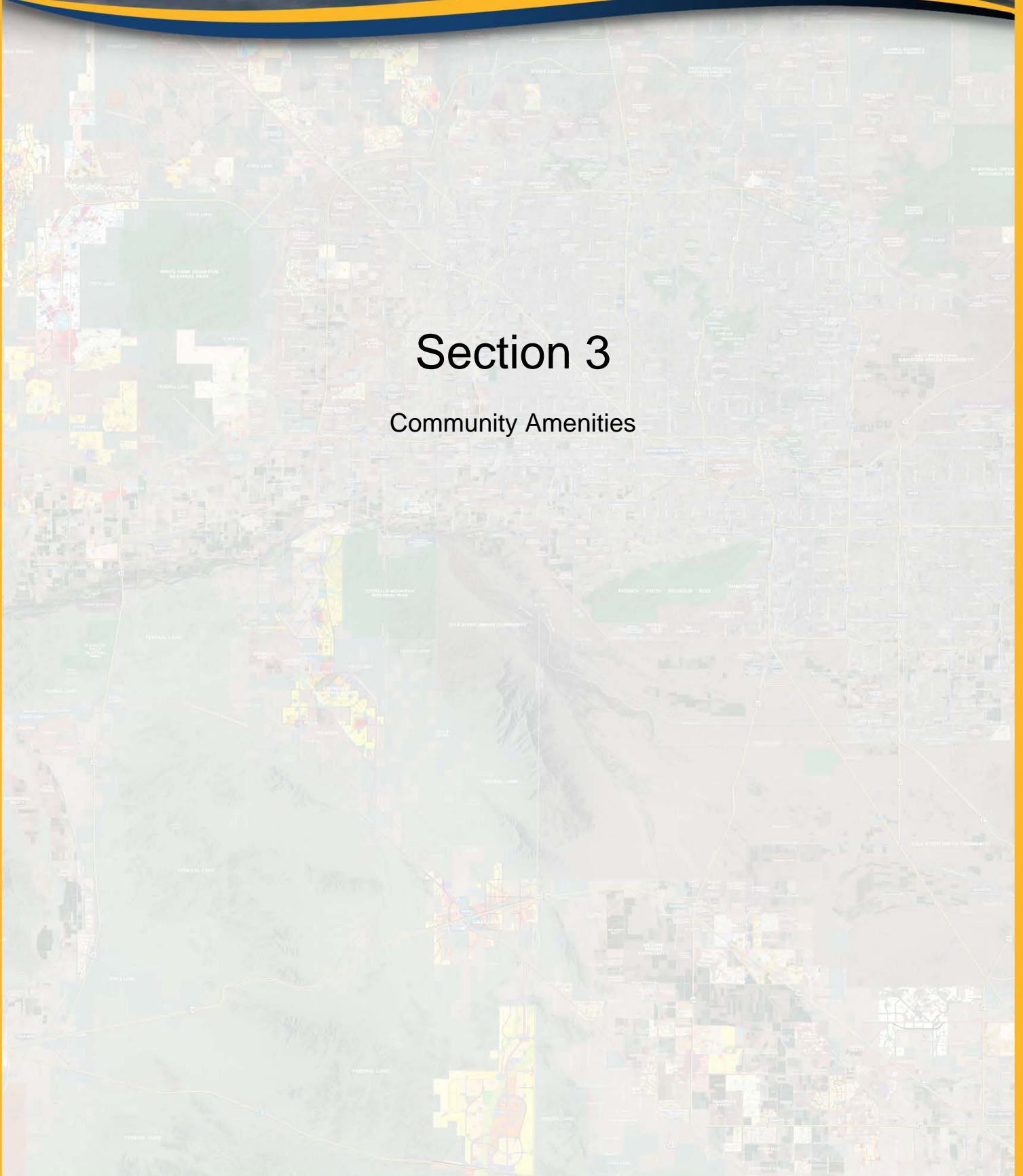
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Section 3

Community Amenities



ANTHEM @ MERRILL RANCH

COMMUNITY AMENITIES

Neighbor Park Area



Entry Monument



Community Center



Community Center with Pool



Play Pool

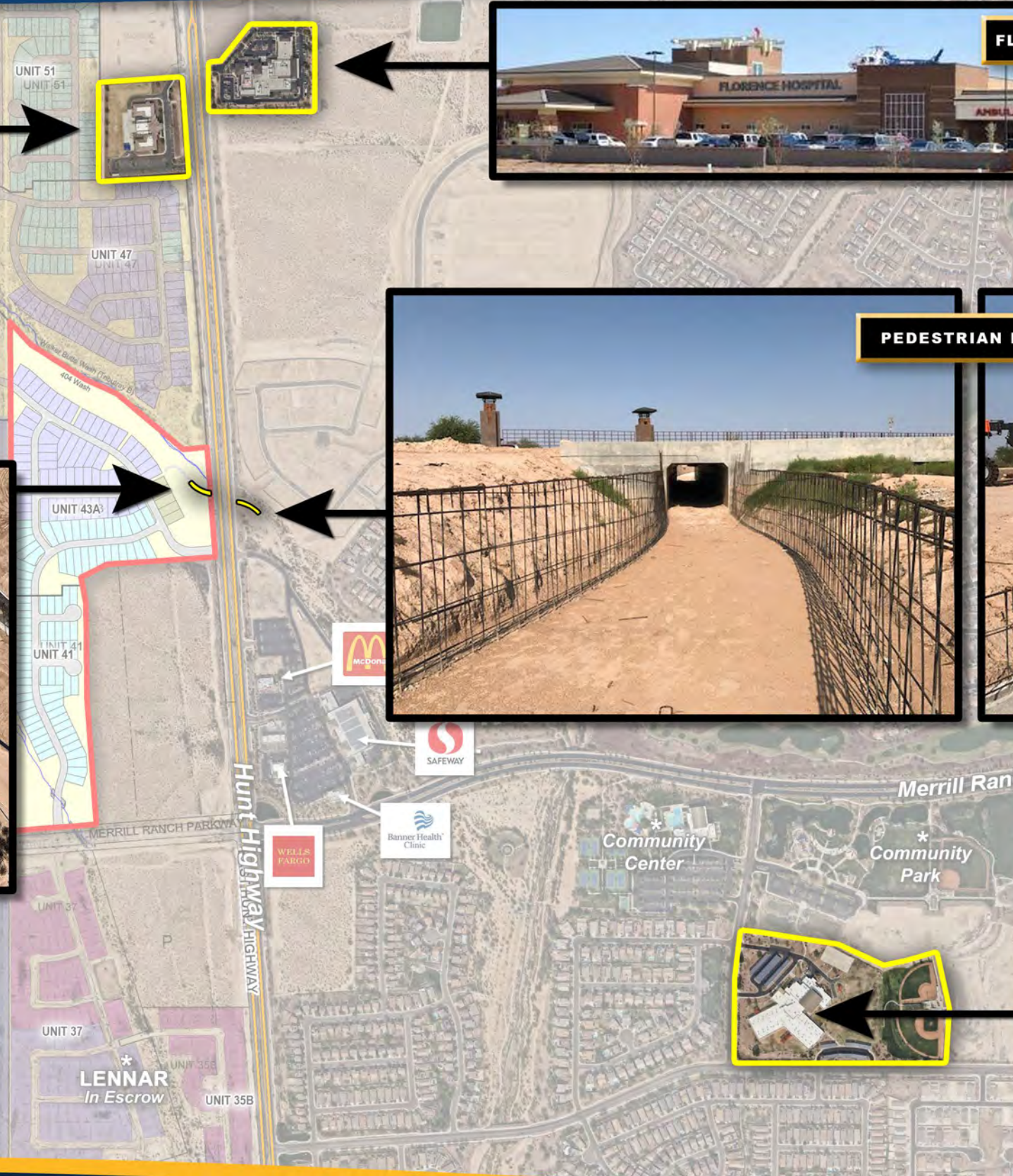


Playground



ANTHEM @ MERRILL RANCH

PEDESTRIAN BRIDGE, SCHOOLS AND FLORENCE HOSPITAL



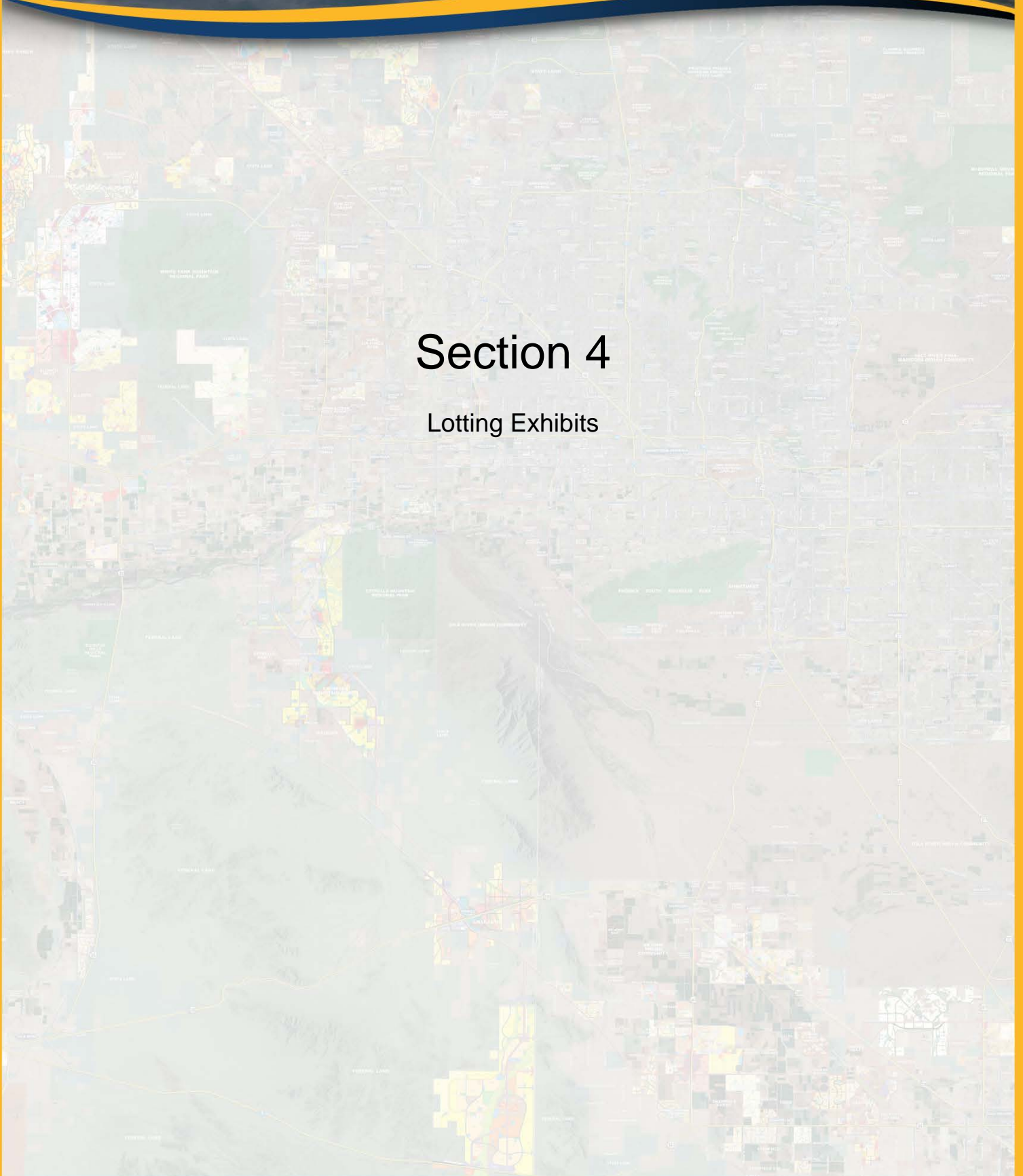
ASTL

LENNAR
In Escrow



Section 4

Lotting Exhibits





anthem

JOKAKE DEVELOPMENT SERVICES, LLC

Unit 41

55 45' Wide Lots

55 Total

Unit 43

34 45' Wide Lots

65 50' Wide Lots

5 55' Wide Lots

104 Total

Unit 45

74 50' Wide Lots

72 55' Wide Lots

146 Total

Unit 47

29 45' Wide Lots

88 50' Wide Lots

117 Total

Unit 49

138 45' Wide Lots

4 55' Wide Lots

142 Total

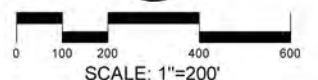
Unit 51

78 45' Wide Lots

78 Total



LOTING EXHIBIT



VERSION 4
JANUARY 2018

ALL DESIGN AND LAYOUT INFORMATION REPRESENTED ON THIS EXHIBIT IS SUBJECT TO CHANGE BY THE DEVELOPER AND IS NOT INTENDED FOR PUBLIC RELEASE.

path: R:\035-Jokake\EXHIBITS
file name: Overall Lotting Exhibit V4.dwg | plot date: January 23, 2018 | plotted by: ssanders

BAXTER DESIGN GROUP
7500 N. Dobson Rd., Suite 200
Scottsdale, AZ 85256
(480) 818-6001



anthem

JOKAKE DEVELOPMENT SERVICES, LLC

Legend

Lot Count - 104

- 34 - 45' x 119' Lots
- 65 - 50' x 119' Lots
- 5 - 55' x 119' Lots
- Open Space
- Entry Monument



Unit 43

Version 4



BAXTER DESIGN GROUP
7500 N. Dobson Rd., Suite 200
Scottsdale, AZ 85256
(480) 818-6001

Arizona
(Not a Part)

Unit 41
(Proposed)

Unit 47
(Proposed)

Walker Butte Wash (Tributary B)

Hunt Highway

Future Model Phase



Scale: 1" = 80'
January 2018
Unit 43

ALL INFORMATION SHOWN ON THIS MAP IS SUBJECT TO CHANGE AT THE DISCRETION OF THE DEVELOPER.

path: R:\035-Jokake\UNITS\UNIT-43\09-EXHIBITS\Sales Map\
file name: Unit 43 V4 SMAP.dwg | plot date: January 16, 2018 | plotted by: ssanders



anthem

JOKAKE DEVELOPMENT SERVICES, LLC

Legend

Lot Count - 55

55 - 45' x 114' Lots

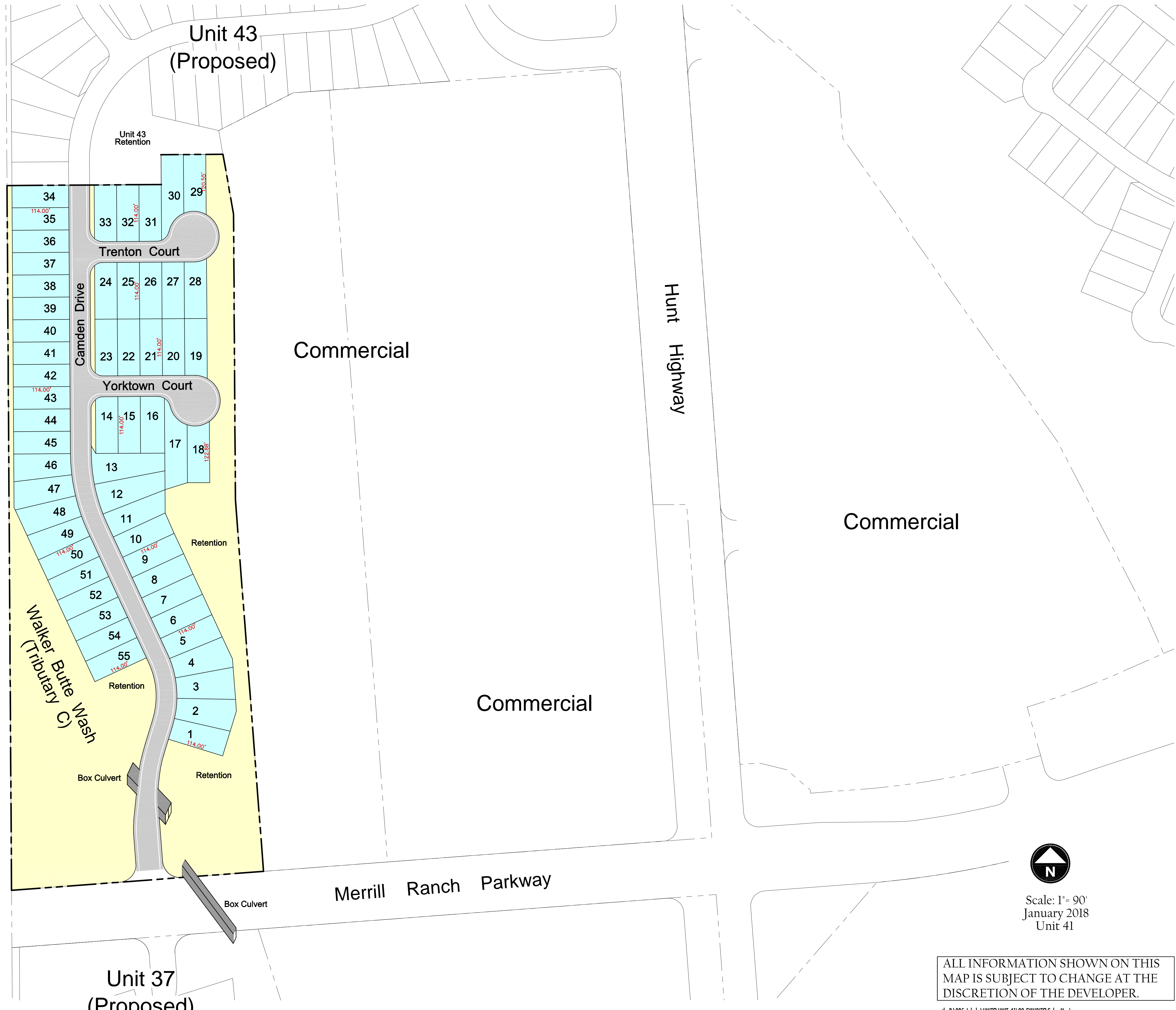
Open Space

Unit 41

Version 2



Arizona
(Not a Part)



Unit 37
(Proposed)

Unit 43
(Proposed)

Unit 43
Retention

Trenton Court

Yorktown Court

Walker Butte Wash
(Tributary C)

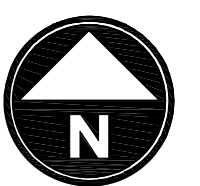
Commercial

Hunt Highway

Commercial

Commercial

Merrill Ranch Parkway



Scale: 1" = 90'
January 2018
Unit 41

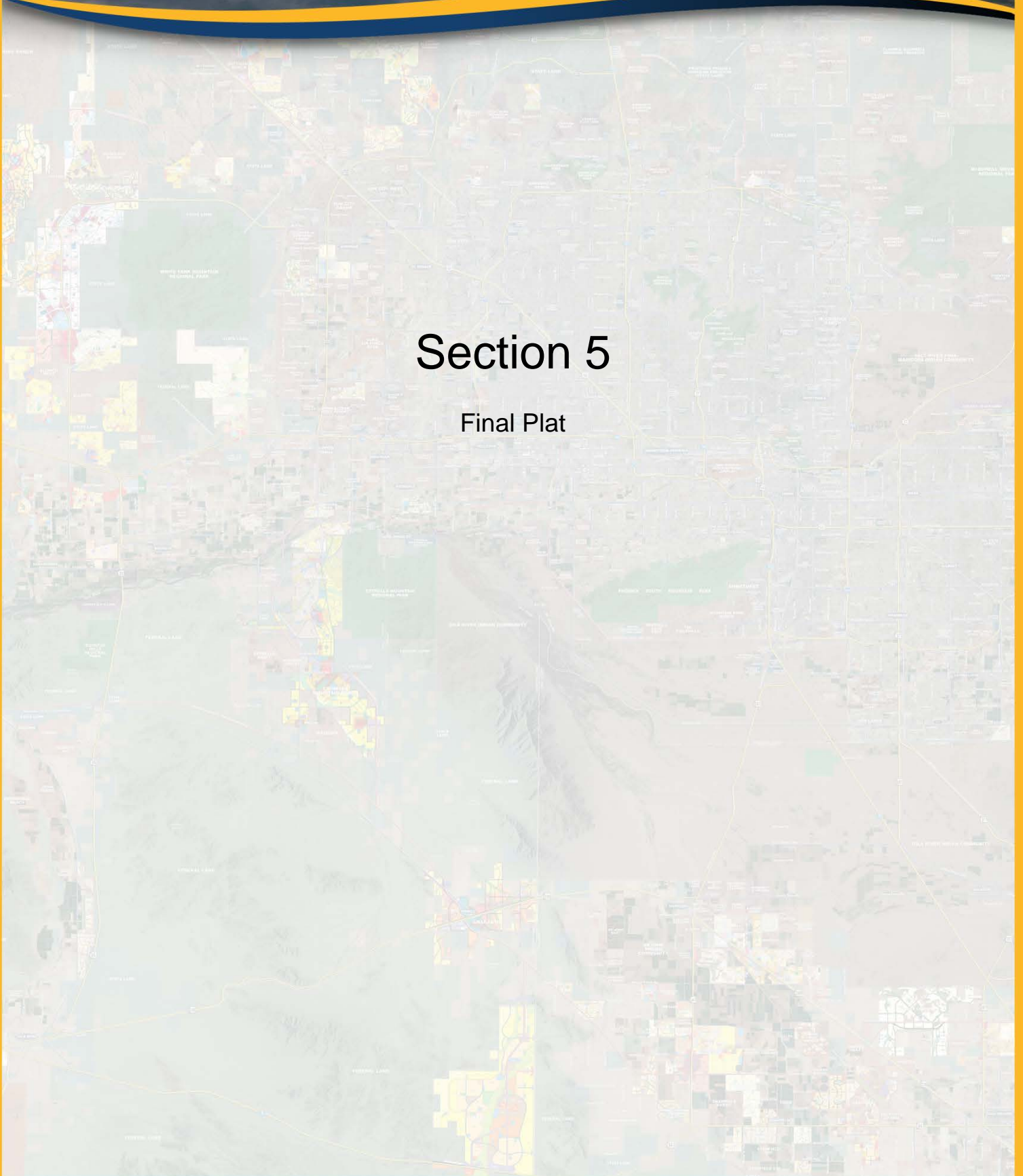
ALL INFORMATION SHOWN ON THIS
MAP IS SUBJECT TO CHANGE AT THE
DISCRETION OF THE DEVELOPER.

path: R:\035-Jokake\UNITS\UNIT-41\09-EXHIBITS\Sales Map
file name: Unit 41 SMAP V2.dwg | plot date: January 16, 2018 | plotted by: ssanders



Section 5

Final Plat



FINAL PLAT ANTHEM AT MERRILL RANCH UNIT 41 (TOWN OF FLORENCE, AZ)

SITUATED WITHIN THE SOUTHWEST QUARTER OF SECTION 24,
TOWNSHIP 4 SOUTH, RANGE 8 EAST,
OF THE GILA AND SALT RIVER MERIDIAN,
TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

DECLARATION, TITLE WARRANTY AND DEDICATION

STATE OF ARIZONA }
COUNTY OF PINAL } SS.

KNOW ALL MEN BY THESE PRESENTS:

FRANKLIN 643, LLC, AN ARIZONA LIMITED LIABILITY COMPANY (HEREINAFTER REFERRED TO IN THIS PLAT AS THE "MASTER DEVELOPER"), AS OWNER HAS SUBDIVIDED UNDER THE NAME ANTHEM AT MERRILL RANCH - UNIT 41, LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 4 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA, AND HEREBY DECLARES THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS, TRACTS, STREETS, AND EASEMENTS CONSTITUTING SAME AND THAT SAID LOTS, TRACTS AND STREETS SHALL BE KNOWN BY THE NUMBER, LETTER OR NAME GIVEN EACH RESPECTIVELY.

THE "MASTER DEVELOPER" IS THE OWNER OF FEE TITLE IN: (A) THE PROPERTY BEING DEDICATED ON THIS PLAT TO THE PUBLIC FOR PURPOSES AND ALL INCIDENTALS THERETO; AND (B) THE PROPERTY UPON OR ACROSS WHICH EASEMENTS ARE BEING DEDICATED ON THIS PLAT TO THE PUBLIC. THE "MASTER DEVELOPER" HEREBY WARRANTS TO TOWN OF FLORENCE, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA, THE TITLE TO SUCH PROPERTY AGAINST ALL PERSONS.

STREET RIGHT-OF-WAY SHOWN ON THIS PLAT ARE DEDICATED TO THE PUBLIC FOR ROADWAY PURPOSES INCLUDING, BUT NOT LIMITED TO, ACCESS, DRAINAGE, TELECOMMUNICATIONS AND PUBLIC UTILITIES.

THE MAINTENANCE OF LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY TO BACK OF CURB SHALL BE THE RESPONSIBILITY OF THE ANTHEM PARKSIDE AT MERRILL RANCH COMMUNITY ASSOCIATION OR THE ADJUTING PROPERTY OWNER.

EASEMENTS ARE DEDICATED AS SHOWN ON THIS PLAT.

AS DESIGNATED ON THIS PLAT, ONE FOOT WIDE VEHICULAR NON-ACCESS EASEMENTS PROHIBITING VEHICULAR INGRESS AND EGRESS ARE HEREBY DEDICATED TO THE PUBLIC UPON ALL LOTS ADJACENT TO DRAINAGE EASEMENTS, TRACTS, OR FACILITIES AND/OR ADJACENT TO ARTERIAL OR COLLECTOR STREETS.

AS DESIGNATED ON THIS PLAT, THREE FOOT WIDE WALL MAINTENANCE EASEMENTS GRANTING ACCESS TO CONSTRUCT AND MAINTAIN OR REPAIR WALLS AND WALL FOOTINGS WITHIN THE WALL MAINTENANCE EASEMENT IS DEDICATED TO THE ANTHEM PARKSIDE AT MERRILL RANCH COMMUNITY ASSOCIATION, INC.

NON-EXCLUSIVE DRAINAGE EASEMENTS ARE HEREBY DEDICATED TO THE PUBLIC UPON, OVER, ACROSS AND THROUGH TRACTS A, B, C, D & E, AND/OR THOSE AREAS DESIGNATED AS SUCH HEREON. NO USE SHALL BE PERMITTED WITHIN THE DRAINAGE EASEMENTS WHICH WOULD PROHIBIT OR INTERFERE WITH THE DRAINAGE USE. MAINTENANCE OF THE DRAINAGE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE ANTHEM PARKSIDE AT MERRILL RANCH COMMUNITY ASSOCIATION. SHOULD THE ASSOCIATION NOT ADEQUATELY MAINTAIN THE DRAINAGE EASEMENTS, THE GOVERNING ENTITY HAVING JURISDICTION OVER THE AREA IN WHICH THE DRAINAGE EASEMENTS ARE LOCATED, AT ITS DISCRETION, MAY ENTER UPON AND MAINTAIN THE DRAINAGE EASEMENTS, AND CHARGE THE ANTHEM PARKSIDE AT MERRILL RANCH COMMUNITY ASSOCIATION THE COST OF THE MAINTENANCE. ALL OTHER EASEMENTS ARE SUBORDINATE TO THE DRAINAGE EASEMENTS.

PUBLIC UTILITY FACILITY EASEMENTS ARE HEREBY DEDICATED TO THE PUBLIC UPON, OVER, UNDER, ACROSS AND THROUGHOUT THOSE AREAS DESIGNATED AS SUCH HEREON FOR THE INSTALLATION, MAINTENANCE, REPAIR, AND REMOVAL OF UNDERGROUND UTILITIES, INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, GAS, ELECTRIC, AND TELECOMMUNICATIONS. MAINTENANCE OF THE AREAS SUBJECT TO SUCH PUBLIC UTILITY FACILITY EASEMENTS SHALL BE THE RESPONSIBILITY OF THE LOT OR TRACT OWNER.

IN WITNESS WHEREOF:

FRANKLIN 643, LLC, AS OWNER, HAS HEREUNTO CAUSED ITS NAME TO BE AFFIXED AND HAS EXECUTED THIS SUBDIVISION

PLAT BY THE SIGNATURE OF THE UNDERSIGNED, DULY AUTHORIZED, THIS _____ DAY OF _____, 20____.

FRANKLIN 643, LLC, AN ARIZONA LIMITED LIABILITY COMPANY;

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS.

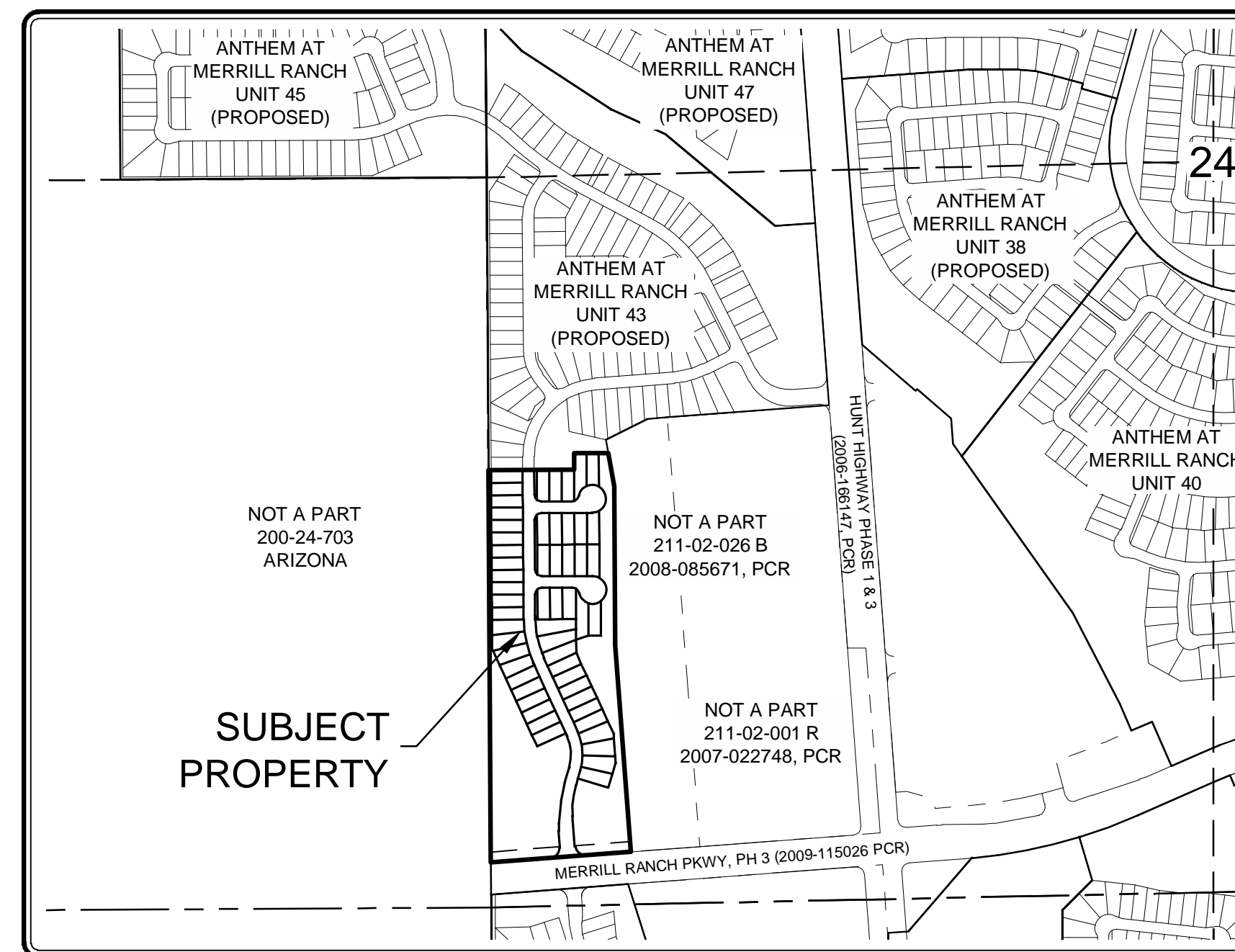
ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED.

_____, WHO ACKNOWLEDGED SELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FORGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED. IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC DATE
MY COMMISSION EXPIRES: _____, 20____.

MERRILL RANCH COMMUNITY FACILITIES DISTRICT NO. 2

NOTWITHSTANDING THE FOREGOING, THE OWNER OF THE REAL PROPERTY WHICH IS THE SUBJECT OF THIS PLAT, (COLLECTIVELY WITH PREDECESSORS AND SUCCESSORS AND THEIR ASSIGNS PURSUANT TO THE HEREINAFTER DESCRIBED DEVELOPMENT AGREEMENT, THE "OWNERS"), HEREBY RESERVE AN INTEREST IN ANY OF THE FOREGOING REAL PROPERTY UPON WHICH WHAT WOULD BE "PUBLIC INFRASTRUCTURE" AS SUCH TERM IS DEFINED IN SECTION 48-701, ARIZONA REVISED STATUTES, HAS BEEN OR IS TO BE CONSTRUCTED. EXCEPT IF RELEASED PRIOR THERETO AS HEREAFTER DESCRIBED, SUCH INTEREST IS, IF THE OWNERS BECOME A PARTY TO THE DEVELOPMENT AGREEMENT, TO BE ACQUIRED PURSUANT TO A DEVELOPMENT AGREEMENT, ORIGINALLY DATED DECEMBER 1, 2005, AND AS THEREBY AMENDED AFTER, AMONG THE OWNERS, THE TOWN OF FLORENCE, ARIZONA (THE "MUNICIPALITY") AND MERRILL RANCH COMMUNITY FACILITIES DISTRICT NO. 2, AMONG OTHERS. SUCH DISTRICT WILL ACQUIRE SUCH PUBLIC INFRASTRUCTURE PURSUANT TO SUCH DEVELOPMENT AGREEMENT. (SUCH INTEREST IS LIMITED TO ONE NECESSARY TO ACCOMMODATE THE FINANCING OF THE ACQUISITION OF SUCH PUBLIC INFRASTRUCTURE (INCLUDING OF SUCH INTEREST IN SUCH REAL PROPERTY) PURSUANT TO SUCH DEVELOPMENT AGREEMENT). SUCH INTEREST TO BE RELEASED UPON THE EARLIER OF THE ACQUISITION OF SUCH PUBLIC INFRASTRUCTURE ONLY BY SUCH DISTRICT PURSUANT TO SUCH DEVELOPMENT AGREEMENT AND DECEMBER 31, 2038.



LOCATION MAP

1" = 500'

SHEET INDEX

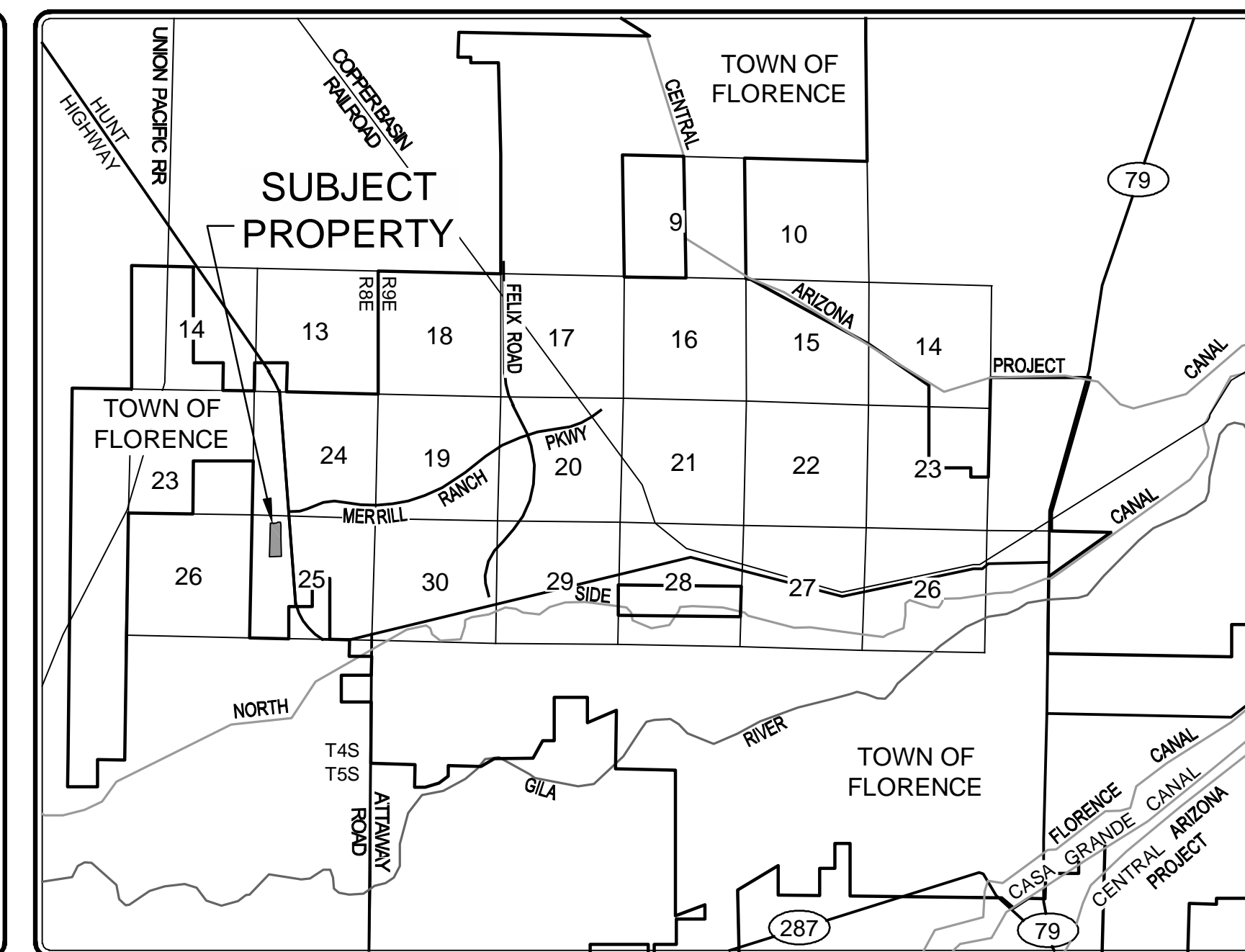
SHEET NO.	CONTENTS
1	COVER SHEET
2	INDEX MAP/LEGAL DESCRIPTION
3	UNIT 41 LAYOUT
4	UNIT 41 LAYOUT
5	UNIT 41 SDT DETAILS

TRACT AREA TABLE

TRACT	AREA (AC)	USAGE
TRACT A	3.4100	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT, RETENTION BASIN & OPEN SPACE
TRACT B	2.8009	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT, RETENTION BASIN & OPEN SPACE
TRACT C	0.0196	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT & OPEN SPACE
TRACT D	0.0423	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT & OPEN SPACE
TRACT E	0.0211	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT & OPEN SPACE

GENERAL NOTES

- ALL-WEATHER ACCESS WILL BE PROVIDED TO ALL LOTS WITHIN THIS SUBDIVISION.
- ALL PROPOSED DWELLING UNITS SHALL BE SINGLE FAMILY, DETACHED.
- THIS SUBDIVISION IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR ANTHEM AT MERRILL RANCH.
- PUBLIC UTILITY FACILITY EASEMENT WOULD BE LAND DEDICATED FOR INSTALLATION OF FACILITIES OVERHEAD AND UNDERGROUND, FURNISHED FOR USE BY THE PUBLIC. THIS TYPE OF EASEMENT MAY BE USED TO DEDICATE INGRESS TO PROPERTY, AS IN PRIVATE STREET SUBDIVISIONS. ALSO INCLUDED ARE IMPROVEMENTS SUCH AS STREETLIGHTS, TRAFFIC SIGNAL DEVICES, SIDEWALK, AND FLOOD CONTROL. THESE FACILITIES MAY BE OWNED AND OPERATED BY THE MUNICIPALITY OR DULY AUTHORIZED POLITICAL SUBDIVISION OF THE STATE OF ARIZONA.
- CONSTRUCTION WITHIN UTILITY EASEMENTS SHALL BE LIMITED TO UTILITIES, FENCES AND DRIVEWAYS, SIDEWALKS AND INSTALLATION OF STREET SIGNS.
- NO STRUCTURES OR VEGETATION OF ANY KIND THAT WOULD IMPEDE THE FLOW OF WATER THROUGH THE EASEMENTS MAY BE CONSTRUCTED, PLANTED OR ALLOWED TO GROW WITHIN DRAINAGE EASEMENTS.
- ONLY GROUND COVER AND BUSHES ARE ALLOWED TO BE PLANTED WITHIN EASEMENTS DEDICATED FOR THE EXCLUSIVE USE OF WATER, SANITARY SEWER, RECLAIMED WATER OR ANY COMBINATION THEREOF. NO TREES ARE ALLOWED.
- VISIBILITY EASEMENT RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND, OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE VISIBILITY EASEMENT (SEE SHEET 2 FOR DETAIL) OR THE INTERSECTION SIGHT DISTANCE TRIANGLE (SEE SHEET 5 FOR DETAILS).
- TRACT, LOT AND PARCEL MONUMENTATION TO SET AT THE COMPLETION OF STREET PAVING.
- ALL TRACTS THAT WILL NOT BE DEDICATED TO THE TOWN OF FLORENCE AND ALL COMMON PROPERTY SHALL BE IMPROVED IN ACCORDANCE WITH PLANS APPROVED BY THE TOWN OF FLORENCE AND SHALL BE CONVEYED BY WARRANTY (OR SPECIAL WARRANTY) DEED TO THE COMMUNITY ASSOCIATION. THE COMMUNITY ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE COMMON PROPERTY.
- ALL PROPERTY LINES SHOWN INTERSECTING AN ARC ARE TO BE ASSUMED RADIAL, UNLESS NOTED AS NON-RADIAL (NR).
- POSITIONAL TOLERANCE FOR WALLS COMMON TO TWO LOTS IS +/-1.00 FOOT FROM COMMON LOT LINE. WALLS COMMON TO A LOT AND A TRACT OR RIGHT-OF-WAY ARE TO BE WITHIN THE WALL MAINTENANCE EASEMENT.
- DEVELOPMENT WITHIN THIS FINAL PLAT SHALL CONFORM WITH THE 2006 INTERNATIONAL FIRE CODE.
- UNIT 41 LIES WITHIN FLOOD ZONE X, PER FEMA FIRM PANEL 875 OF 2575, MAP NUMBER 04021C0875E, DECEMBER 4, 2007.



VICINITY MAP

NOT TO SCALE

BASIS OF BEARING

THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 24, (THE SOUTHWEST CORNER BEING A 3" GLO BRASS CAP, FOUND AND THE WEST QUARTER CORNER BEING A 3" GLO BRASS CAP, FOUND), TOWNSHIP 4 SOUTH, RANGE 8 EAST, OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA; BEARING BEING N00°22'08"W. HORIZONTAL DISTANCE BETWEEN MONUMENTS BEING 2638.19'.

WATER AND SEWER SERVICE CERTIFICATION

ANTHEM AT MERRILL RANCH UNIT 41 IS WITHIN THE SERVICE AREA OF JOHNSON UTILITIES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY PURSUANT TO A.R.S. 45-576. A COMMITMENT TO SUPPLY WATER SERVICE TO THIS PLATTED SUBDIVISION HAS BEEN RECEIVED FROM SAID COMPANY AS EVIDENCED BY JOHNSON UTILITIES DRINKING WATER SERVICE AGREEMENT, A COPY OF WHICH IS SUBMITTED WITH THIS PLAT. ON-SITE SANITARY SEWER DISTRIBUTION LINES WILL BE CONSTRUCTED BY THE DEVELOPER OF THIS SUBDIVISION AND OWNED AND MAINTAINED BY JOHNSON UTILITIES, L.L.C.

JOHNSON UTILITIES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS.

ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED, PERSONALLY

APPEARED _____ WHO ACKNOWLEDGED SELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FORGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC DATE

MY COMMISSION EXPIRES: _____, 20____.

COUNTY RIGHT-OF-WAY EASEMENT ABANDONED AS PART OF THIS RECORDING

PCR No. _____ AREA (AC) _____ USAGE _____
DKT 375, PG 572, PCR 1.0729 COUNTY RIGHT-OF-WAY SW 1/4 SEC 24, T4S, R8E

APPROVALS

BY ACCEPTANCE OF THIS PLAT, THE TOWN OF FLORENCE AGREES TO THE VACATION OR ABANDONMENT OF THE EASEMENTS DESCRIBED OR SHOWN HEREON AS BEING VACATED OR ABANDONED.

APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR AND THE TOWN ENGINEER OF THE TOWN OF FLORENCE,

ARIZONA, THIS _____ DAY OF _____, 20____.

APPROVED BY: _____ DATE: _____
DEVELOPMENT SERVICES DIRECTOR
TOWN OF FLORENCE, ARIZONA

APPROVED BY: _____ DATE: _____
TOWN ENGINEER
TOWN OF FLORENCE, ARIZONA

APPROVED BY THE COUNCIL OF THE TOWN OF FLORENCE, ARIZONA, THIS _____ DAY

OF _____, 20____.

APPROVED BY: _____ DATE: _____
MAYOR

ATTEST: _____ DATE: _____
TOWN CLERK

RECORDER

STATE OF ARIZONA }
COUNTY OF PINAL } SS.
I hereby certify that the within instrument is filed in the official records of this County as Fee No. _____
Date: _____
Request of: _____
Witness my hand and official seal.
Virginia Ross Pinal County Recorder
By: _____ Deputy

DEVELOPER / OWNER FRANKLIN 643, LLC

5013 E. WASHINGTON ST. STE. 100
PHOENIX, AZ 85034
602.224.4503

SURVEYOR BAXTER DESIGN GROUP, LLC

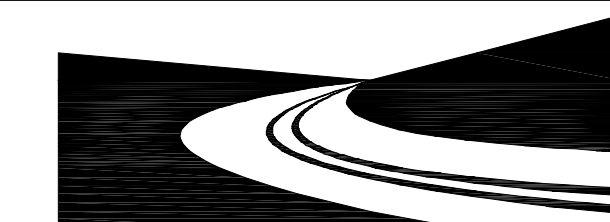
7500 N. DOBSON ROAD, SUITE 200
SCOTTSDALE, AZ 85256
480.818.6001

LAND USE INFORMATION

GROSS AREA	15.2579	ACRES
OPEN SPACE	6.2939	ACRES
RIGHT-OF-WAY AREA	2.1590	ACRES
NET AREA	13.0989	ACRES
TOTAL LOTS	55	
PROPOSED DENSITY	3.6047	D.U./AC.
ZONING	P.U.D. R-1	

UTILITIES AND SERVICES

GAS	SOUTHWEST GAS
SEWER	JOHNSON UTILITIES CO
WATER	JOHNSON UTILITIES CO
ELECTRIC	ARIZONA PUBLIC SERVICE (APS)
TELEPHONE	CENTURYLINK
SOLID WASTE DISPOSAL	TOWN OF FLORENCE
CABLE	COX/CENTURYLINK
POLICE	TOWN OF FLORENCE POLICE DEPARTMENT
FIRE	TOWN OF FLORENCE FIRE DEPARTMENT
SCHOOLS	FLORENCE UNIFIED SCHOOL DISTRICT



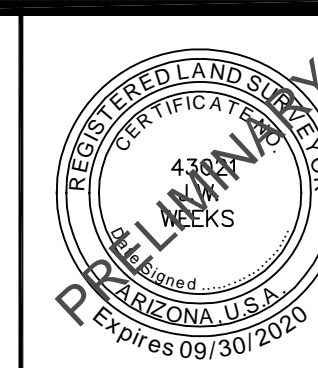
BAXTER DESIGN GROUP

7500 N. Dobson Rd., Suite 200
Scottsdale, AZ 85256
(480) 818-6001

SURVEYOR CERTIFICATION

THIS IS TO CERTIFY THAT THIS PLAT IS CORRECT AND ACCURATE AND THE MONUMENTS DESCRIBED HEREIN HAVE EITHER BEEN SET OR LOCATED AS DESCRIBED TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE:	JANUARY 8, 2018
DESIGNED BY:	BDG
DRAWN BY:	STS
REVIEWED BY:	JWW
PROJECT:	
ISSUE:	FINAL PLAT



J.W. WEEKS, R.L.S., 43021
BAXTER DESIGN GROUP, LLC
7500 N. DOBSON ROAD, SUITE 200
SCOTTSDALE, AZ 85256

REVISIONS: _____

FRANKLIN 643, LLC ANTHEM AT MERRILL RANCH FINAL PLAT UNIT 41

SITUATED WITHIN THE SOUTHWEST QUARTER OF SECTION 24,
TOWNSHIP 4 SOUTH, RANGE 8 EAST,
OF THE GILA AND SALT RIVER MERIDIAN,
TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 41
COVER SHEET
SHEET 1 OF 5

path: R:\055-Subdiv\UNITS\UNIT-41\5-PLAT\Gad.Dwg | plot date: January 08, 2018 | plotted by: scotteds

VERSION 2

LEGAL DESCRIPTION

A PARCEL OF LAND LYING WITHIN THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 4 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER (FOUND, 3" GLO BRASS CAP) OF SAID SECTION 24, FROM WHICH POINT THE WEST QUARTER CORNER (FOUND, 3" GLO BRASS CAP) OF SAID SECTION 24 BEARS NORTH 00 DEGREES 22 MINUTES 08 SECONDS WEST (BASIS OF BEARING), A DISTANCE OF 2638.19 FEET AND FROM WHICH POINT THE SOUTH QUARTER CORNER (FOUND, 3" GLO BRASS CAP) OF SAID SECTION 24 BEARS NORTH 88 DEGREES 48 MINUTES 06 SECONDS EAST, A DISTANCE OF 2611.46 FEET;

THENCE NORTH 00 DEGREES 22 MINUTES 08 SECONDS WEST, ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 24, A DISTANCE OF 162.61 FEET TO THE TRUE POINT OF BEGINNING;

THENCE NORTH 00 DEGREES 22 MINUTES 08 SECONDS WEST, CONTINUING ALONG SAID WEST LINE, A DISTANCE OF 1417.37 FEET;

THENCE NORTH 89 DEGREES 37 MINUTES 52 SECONDS EAST, A DISTANCE OF 310.00 FEET;

THENCE NORTH 00 DEGREES 22 MINUTES 08 SECONDS WEST, A DISTANCE OF 60.00 FEET;

THENCE NORTH 89 DEGREES 37 MINUTES 52 SECONDS EAST, A DISTANCE OF 124.50 FEET;

THENCE SOUTH 10 DEGREES 02 MINUTES 21 SECONDS EAST, A DISTANCE OF 122.05 FEET;

THENCE SOUTH 00 DEGREES 22 MINUTES 08 SECONDS EAST, A DISTANCE OF 574.02 FEET;

THENCE SOUTH 04 DEGREES 19 MINUTES 09 SECONDS EAST, A DISTANCE OF 749.83 FEET;

THENCE SOUTH 85 DEGREES 40 MINUTES 51 SECONDS WEST, A DISTANCE OF 507.86 FEET TO THE TRUE POINT OF BEGINNING.

CONTAINING 15.25.79 ACRES MORE OR LESS.

WEST QUARTER CORNER SECTION 24
3" GLO BRASS CAP ("1928")
FOUND

33' COUNTY ROW EASEMENT (DKT. 375, PG. 572, PCR)

NOT A PART 200-24-703 ARIZONA

SHEET 4 SHEET 3

33' COUNTY ROW EASEMENT (DKT. 375, PG. 572, PCR) ABANDONED AS PART OF THIS RECORDING (1.0729 ACRES)

SOUTHWEST CORNER SECTION 24
3" GLO BRASS CAP FOUND

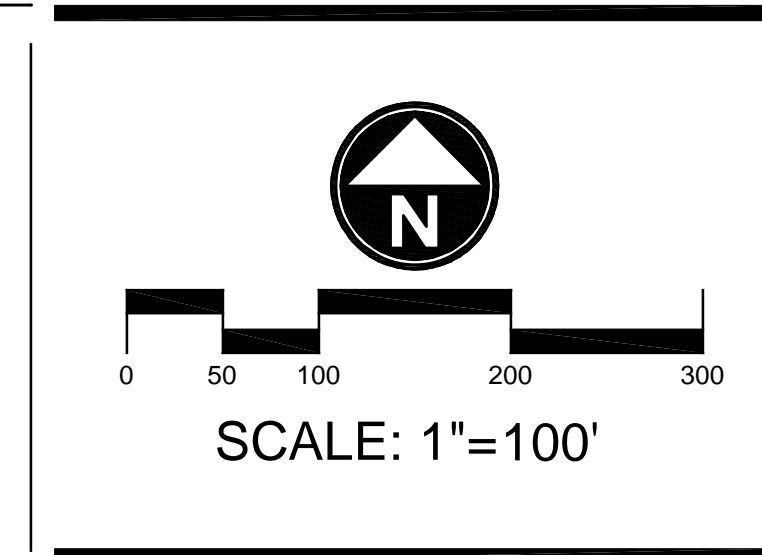
ANTHEM AT MERRILL RANCH UNIT 37 (PROPOSED)

ANTHEM AT MERRILL RANCH UNIT 43 (PROPOSED)

NOT A PART 211-02-001 R 2007-022748, PCR

SHEET 4 SHEET 3

NOT A PART 211-02-026 B 2008-085671, PCR



RECORDER

STATE OF ARIZONA }
COUNTY OF PINAL } SS

I hereby certify that the within instrument is filed in the official records of this County as Fee No. _____
Date: _____
Request of: _____
Witness my hand and official seal.
Virginia Ross Pinal County Recorder
By: _____ Deputy

SYMBOL LEGEND

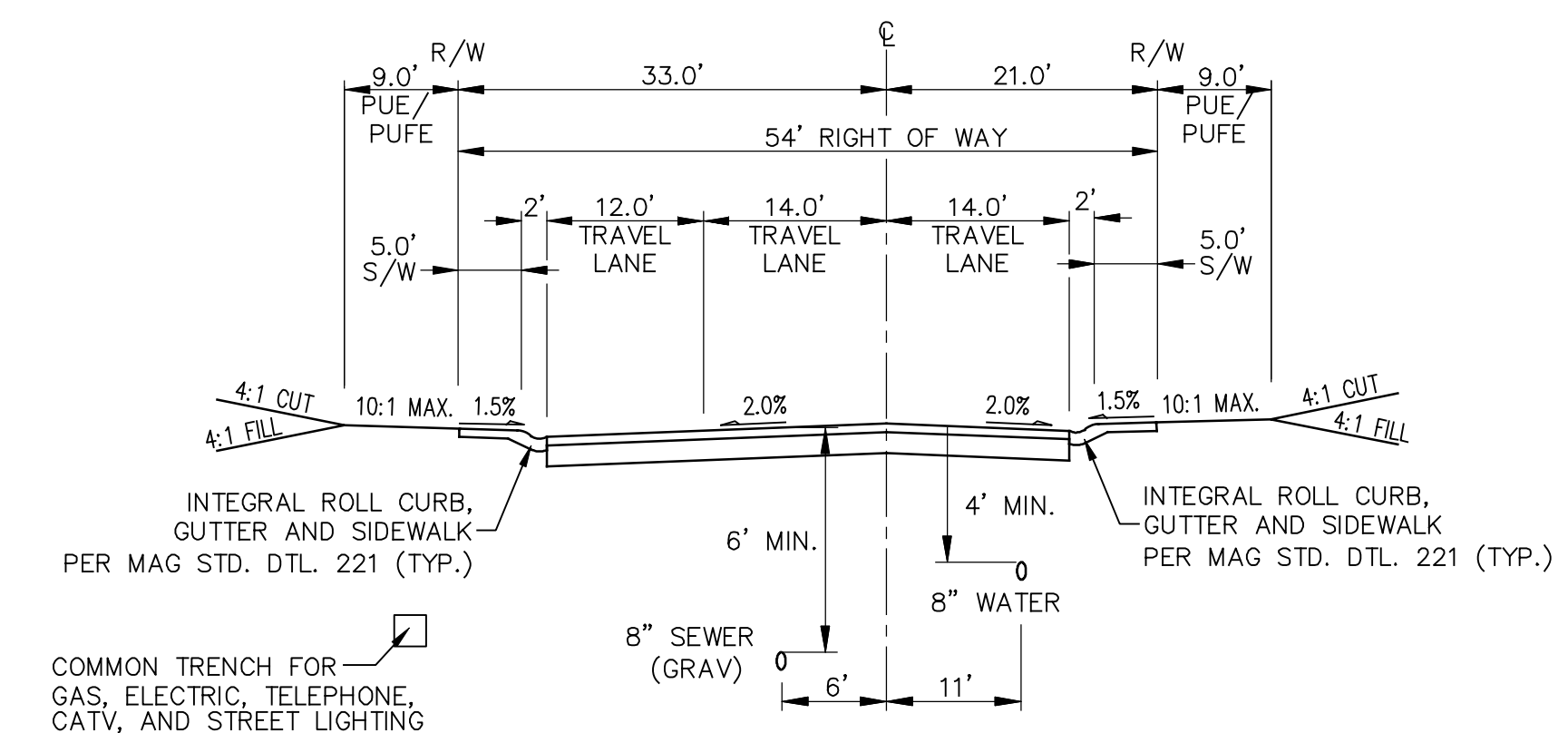
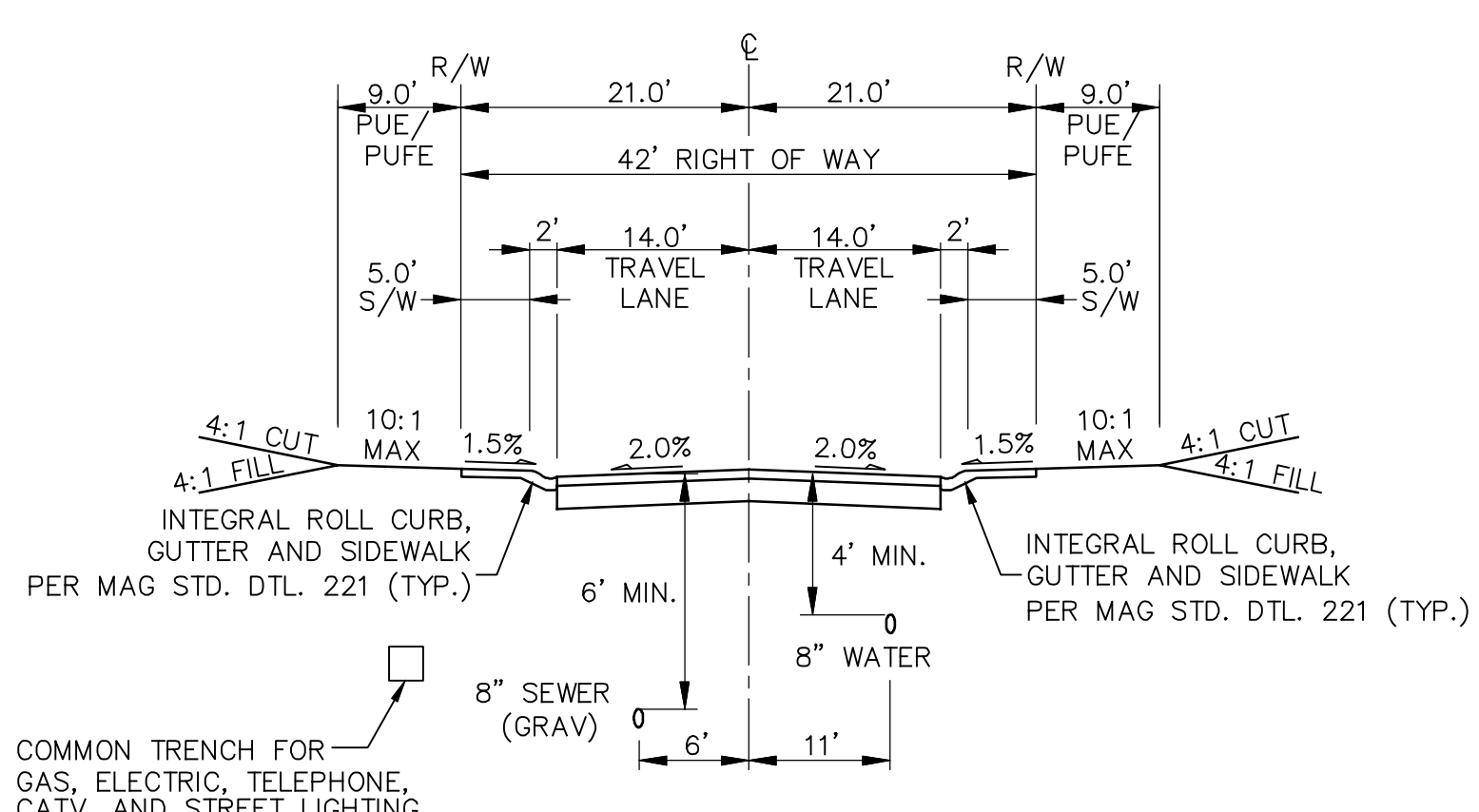
- SECTION CORNER, GLO BRASS CAP, UNLESS NOTED OTHERWISE
- QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- CENTERLINE MONUMENT (BRASS CAP, OR AS NOTED)
- 1/2" REBAR & CAP, RLS 21065, SET (UNLESS NOTED OTHERWISE)

LINE LEGEND

- BREAK LINE
- CENTERLINE OF ROADWAY
- EASEMENT LINE
- PLAT BOUNDARY
- PROPERTY LINE
- ROW
- SECTION LINE
- TERMINAL POINT ON ROW INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.

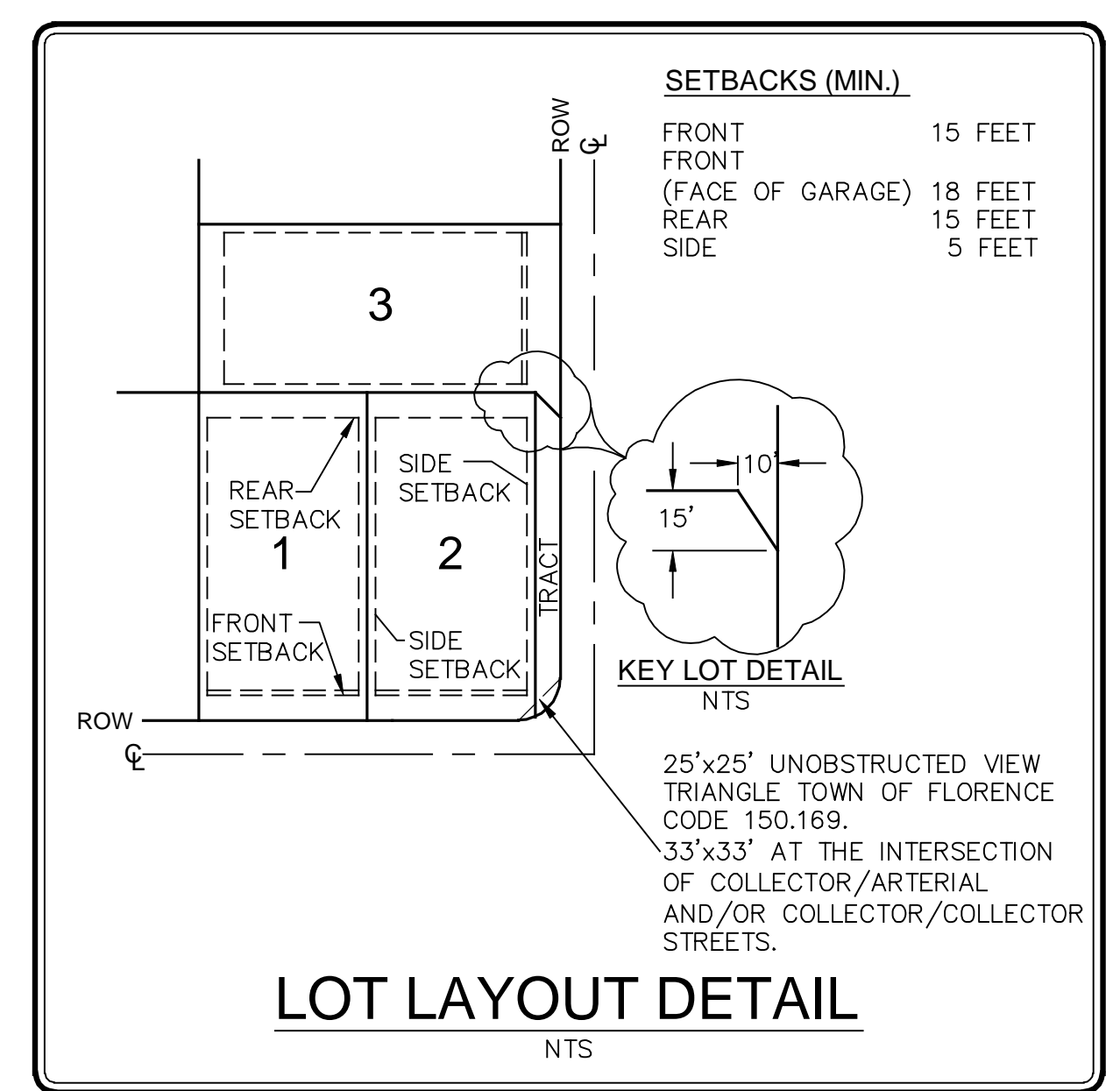
ABBREVIATIONS

- (AC) ACRE
- AL ALUMINUM CAP
- BC BRASS CAP
- BK BOOK
- (BOB) BASIS OF BEARING
- CMU CONCRETE MASONRY UNIT
- DKT DOCKET
- FND FOUND MONUMENT
- GLO GENERAL LAND OFFICE
- LE LANDSCAPE EASEMENT
- LS# LAND SURVEYORS REGISTRATION No.
- MEASURED
- MOL MORE OR LESS
- NO ID NO IDENTIFICATION, (NO LS No.)
- (NR) INDICATES LINE IS NOT RADIAL TO CURVE
- NTS NOT TO SCALE
- PCR PINAL COUNTY RECORDER
- PG PAGE
- POB POINT OF BEGINNING
- PUFE PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT
- RECORD
- (R) RANGE LINE No. EAST
- (RB) RADIAL BEARING
- ROW RIGHT OF WAY
- SEC # SECTION No.
- SDE STORM DRAIN EASEMENT
- SLO SLIDE
- SSE SANITARY SEWER EASEMENT
- SDT SIGHT DISTANCE TRIANGLE
- TOP TOWNSHIP LINE No. SOUTH
- T # S TOWNSHIP LINE No. SOUTH
- UVT UNOBSTRUCTED VIEW TRIANGLE
- VNAE VEHICULAR NON-ACCESS EASEMENT
- WE WATERLINE EASEMENT
- WME WALL MAINTENANCE EASEMENT



LOCAL ROADWAY (LOOKING NORTH AND EAST) N.T.S.

54' ROW ENTRY ROADWAY (LOOKING NORTH AND EAST) N.T.S.



LOT LAYOUT DETAIL NTS

DATE: JANUARY 8, 2018
DESIGNED BY: BDG
DRAWN BY: STS
REVIEWED BY: JWW
PROJECT: _____
ISSUE: FINAL PLAT

REGISTERED LAND SURVEYOR
LARRY W. BAXTER
PINAL COUNTY, ARIZONA
Expires 09/30/2026

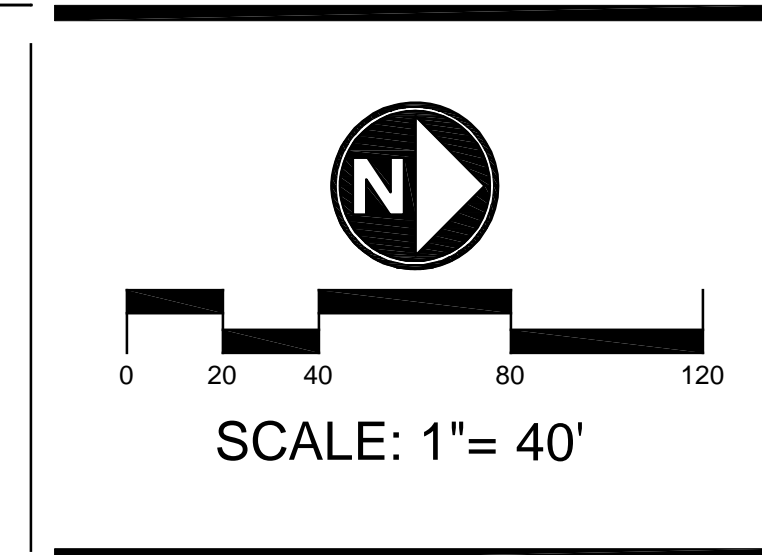
REVISIONS:

NO.	DATE	DESCRIPTION

FRANKLIN 643, LLC
ANTHEM AT MERRILL RANCH
FINAL PLAT UNIT 41

SITUATED WITHIN THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 4 SOUTH, RANGE 8 EAST, OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA.

UNIT 41
INDEX MAP
SHEET 2 OF 5



RECORDER

STATE OF ARIZONA }
 COUNTY OF PINAL } SS

I hereby certify that the within instrument is filed in the official records of this County as Fee No. _____

Date: _____

Request of: _____

Witness my hand and official seal.
 Virginia Ross Pinal County Recorder
 By: _____ Deputy

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- FND FOUND MONUMENT
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- (RB) RADIAL BEARING
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- VNAE VEHICULAR NON-ACCESS EASEMENT
- WE WATERLINE EASEMENT
- WME WALL MAINTENANCE EASEMENT



BAXTER DESIGN GROUP

DATE: JANUARY 8, 2018

DESIGNED BY: BDG

DRAWN BY: STS

REVIEWED BY: JWW

PROJECT: _____

ISSUE: FINAL PLAT



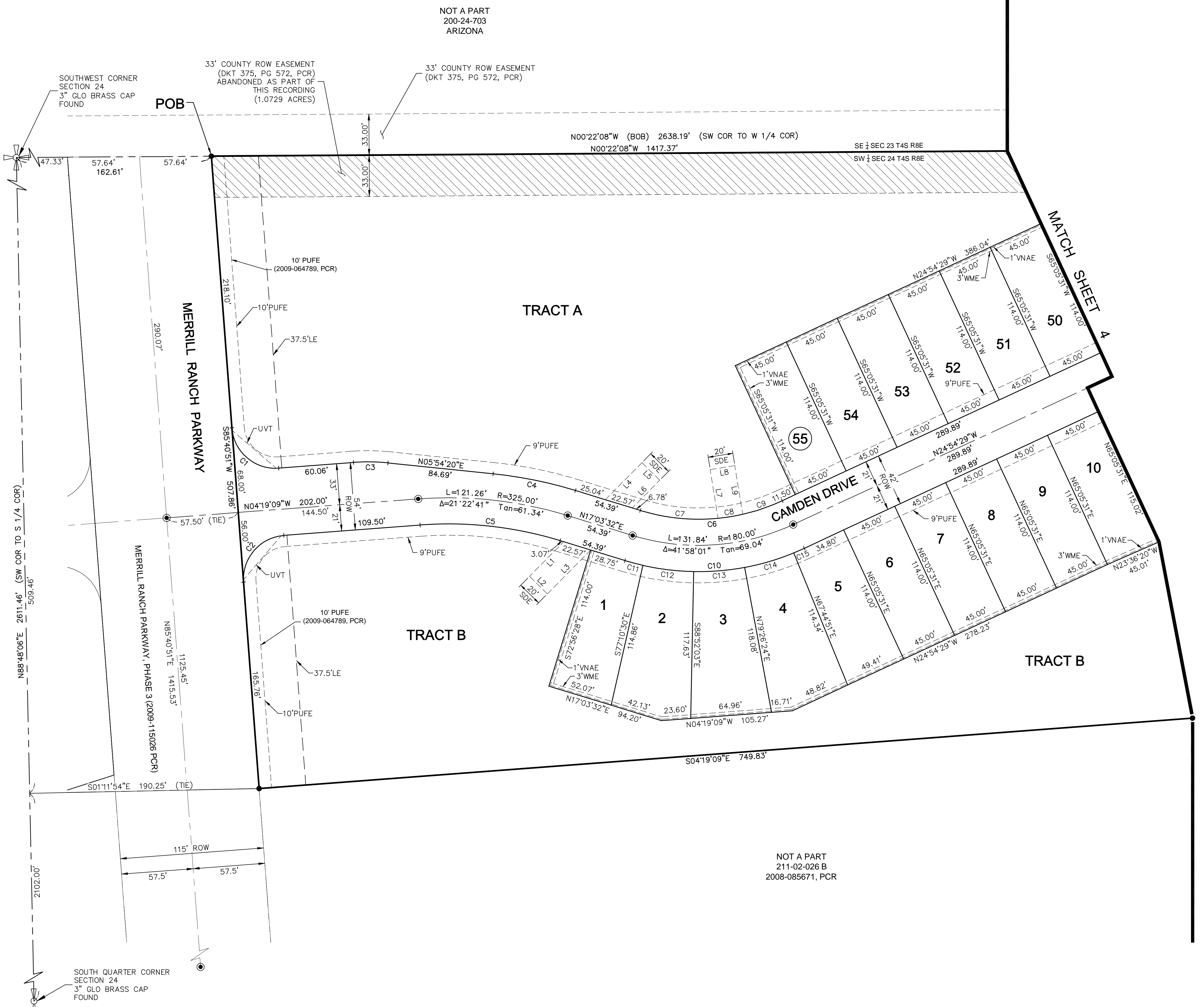
REVISIONS:

FRANKLIN 643, LLC
ANTHEM AT MERRILL RANCH
FINAL PLAT UNIT 41

SITUATED WITHIN THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 4 SOUTH, RANGE 8 EAST, OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA.

UNIT 41
LAYOUT
SHEET 3 OF 5

path: R:\055-Subdiv\UNIT41\15-PLAT\Gd Drawing.dwg
 File name: 055 UNIT 41 FP L00.dwg | plot date: January 08, 2018 | plotted by: scouder



LOT TABLE

LOT NO.	SQ. FT.	ACRES
1	5,457	0.1253
2	6,527	0.1436
3	6,179	0.1419
4	6,217	0.1427
5	5,332	0.1224
6	5,130	0.1178
7	5,130	0.1178
8	5,130	0.1178
9	5,130	0.1178
10	5,153	0.1183
50	5,130	0.1178
51	5,130	0.1178
52	5,130	0.1178
53	5,130	0.1178
54	5,130	0.1178
55	5,130	0.1178

LINE TABLE

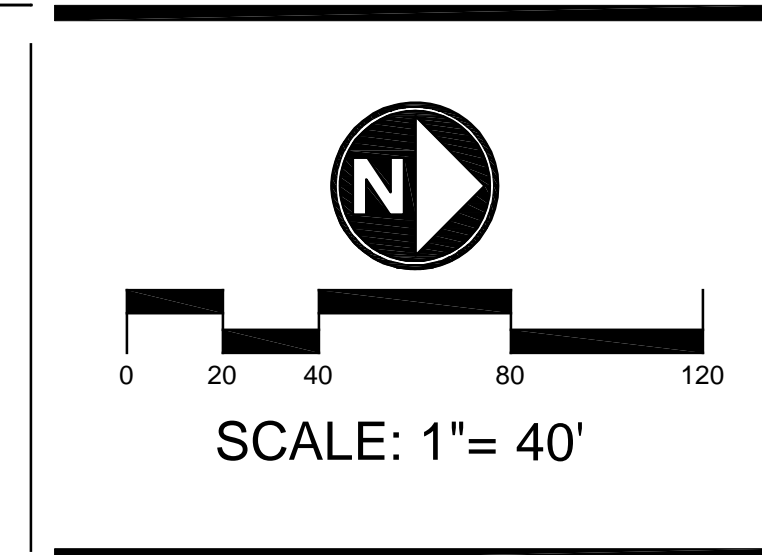
LINE	BEARING	DISTANCE
L1	S45°19'43"E	38.92'
L2	S44°40'17"W	20.00'
L3	S45°19'43"E	49.39'
L4	N45°19'43"W	41.68'
L5	N44°40'17"E	20.00'
L6	N45°19'43"W	31.22'
L7	S80°46'15"W	39.44'
L8	N09°13'45"W	20.00'
L9	S80°46'15"W	39.44'

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	54.98'	35.00'	90°00'00"	35.00'
C2	54.98'	35.00'	90°00'00"	35.00'
C3	27.66'	155.00'	10°13'29"	13.87'
C4	67.35'	346.00'	11°09'12"	33.78'
C5	113.43'	304.00'	21°22'41"	57.38'
C6	116.46'	159.00'	41°58'01"	60.98'
C7	62.94'	159.00'	22°40'56"	31.89'
C8	20.01'	159.00'	7°12'42"	10.02'
C9	33.50'	159.00'	12°04'23"	16.81'
C10	147.22'	201.00'	41°58'01"	77.09'
C11	14.85'	201.00'	4°14'02"	7.43'
C12	41.02'	201.00'	11°41'33"	20.58'
C13	41.02'	201.00'	11°41'33"	20.58'
C14	41.02'	201.00'	11°41'33"	20.58'
C15	9.32'	201.00'	2°39'20"	4.66'

NOT A PART
 211-02-026 B
 2008-085671, PCR

VERSION 2



RECORDER

STATE OF ARIZONA } SS
 COUNTY OF PINAL }

I hereby certify that the within instrument is filed in the official records of this County as Fee No. _____
 Date: _____
 Request of: _____
 Witness my hand and official seal.
 Virginia Ross Pinal County Recorder
 By: _____ Deputy

SYMBOL LEGEND

- SECTION CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- CENTERLINE MONUMENT (BRASS CAP, OR AS NOTED)
-

LINE LEGEND

- BREAK LINE
- CENTERLINE OF ROADWAY
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- PLAT BOUNDARY
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- SECTION LINE
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ABBREVIATIONS

(AC) ACRE
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LOT TABLE

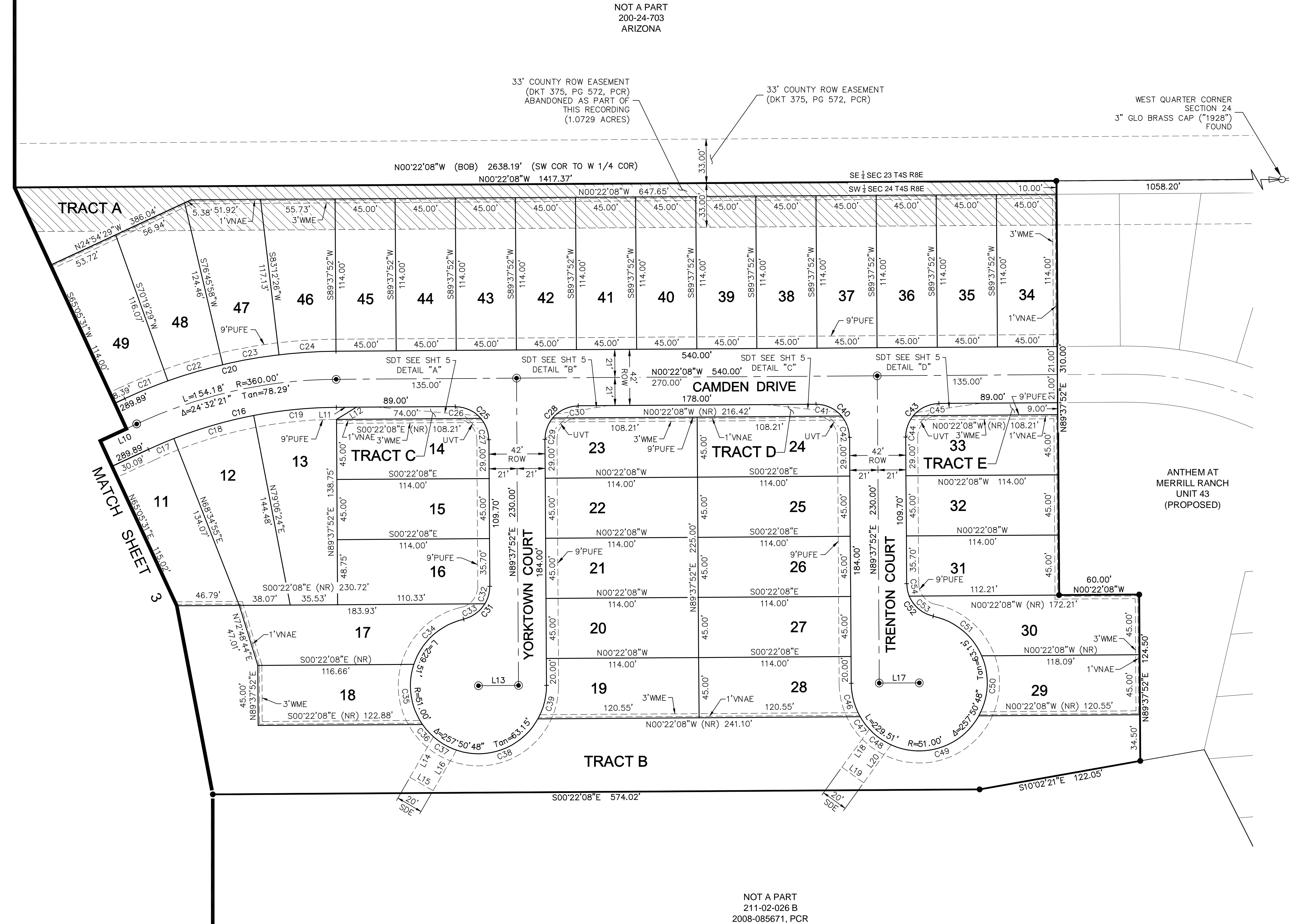
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12	6,914	0.1587
13	7,225	0.1659
14	5,101	0.1171
15	5,130	0.1178
16	5,542	0.1272
17	6,507	0.1494
18	5,226	0.1200
19	5,183	0.1199
20	5,130	0.1178
21	5,130	0.1178
22	5,130	0.1178
23	5,101	0.1171
24	5,101	0.1171
25	5,130	0.1178
26	5,130	0.1178
27	5,130	0.1178
28	5,183	0.1199
29	5,210	0.1196
30	6,403	0.1470
31	5,125	0.1176
32	5,130	0.1178
33	5,101	0.1171
34	5,130	0.1178
35	5,130	0.1178
36	5,130	0.1178
37	5,130	0.1178
38	5,130	0.1178
39	5,130	0.1178
40	5,130	0.1178
41	5,130	0.1178
42	5,130	0.1178
43	5,130	0.1178
44	5,130	0.1178
45	5,130	0.1178
46	5,656	0.1298
47	6,021	0.1382
48	5,933	0.1362
49	5,548	0.1271

LINE TABLE

LINE	BEARING	DISTANCE
L10	N24°54'29\"/>	
L11	N00°22'08\"/>	
L12	N31°19'58\"/>	
L13	S00°22'08\"/>	
L14	S59°54'45\"/>	
L15	S30°05'15\"/>	
L16	S59°54'45\"/>	
L17	N00°22'08\"/>	
L18	S54°09'27\"/>	
L19	S35°50'33\"/>	
L20	S54°09'27\"/>	

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C16	145.19'	339.00'	24°32'21\"/>	73.73'
C17	20.65'	339.00'	3°29'24\"/>	10.33'
C18	62.27'	339.00'	10°31'28\"/>	31.22'
C19	62.27'	339.00'	10°31'28\"/>	31.22'
C20	163.18'	381.00'	24°32'21\"/>	82.86'
C21	34.80'	381.00'	5°13'58\"/>	17.41'
C22	42.83'	381.00'	6°26'28\"/>	21.44'
C23	42.83'	381.00'	6°26'28\"/>	21.44'
C24	42.72'	381.00'	6°25'26\"/>	21.38'
C25	39.27'	25.00'	90°00'00\"/>	25.00'
C26	21.91'	25.00'	50°12'29\"/>	11.71'
C27	17.36'	25.00'	39°47'31\"/>	9.05'
C28	39.27'	25.00'	90°00'00\"/>	25.00'
C29	17.36'	25.00'	39°47'31\"/>	9.05'
C30	21.91'	25.00'	50°12'29\"/>	11.71'
C31	33.97'	25.00'	77°50'48\"/>	20.19'
C32	13.72'	25.00'	31°27'17\"/>	7.04'
C33	20.24'	25.00'	46°23'31\"/>	10.71'
C34	52.75'	51.00'	59°15'56\"/>	29.01'
C35	47.08'	51.00'	52°53'37\"/>	25.37'
C36	12.39'	51.00'	13°55'25\"/>	6.23'
C37	20.13'	51.00'	22°36'56\"/>	10.20'
C38	71.03'	51.00'	79°47'43\"/>	42.64'
C39	26.13'	51.00'	29°21'12\"/>	13.36'
C40	39.27'	25.00'	90°00'00\"/>	25.00'
C41	21.91'	25.00'	50°12'29\"/>	11.71'
C42	17.36'	25.00'	39°47'31\"/>	9.05'
C43	39.27'	25.00'	90°00'00\"/>	25.00'
C44	17.36'	25.00'	39°47'31\"/>	9.05'
C45	21.91'	25.00'	50°12'29\"/>	11.71'
C46	26.13'	51.00'	29°21'12\"/>	13.36'
C47	11.69'	51.00'	13°07'39\"/>	5.87'
C48	20.13'	51.00'	22°36'56\"/>	10.20'
C49	76.15'	51.00'	85°33'00\"/>	47.19'
C50	46.68'	51.00'	52°26'32\"/>	25.12'
C51	48.74'	51.00'	54°45'29\"/>	26.41'
C52	33.97'	25.00'	77°50'48\"/>	20.19'
C53	24.44'	25.00'	56°00'57\"/>	13.30'
C54	9.53'	25.00'	21°49'51\"/>	4.82'



NOT A PART
 200-24-703
 ARIZONA

NOT A PART
 211-02-026 B
 2008-085671, PCR



DATE: JANUARY 8, 2018
 DESIGNED BY: BDG
 DRAWN BY: STS
 REVIEWED BY: JWW
 PROJECT: _____
 ISSUE: FINAL PLAT



REVISIONS:

FRANKLIN 643, LLC
ANTHEM AT MERRILL RANCH
FINAL PLAT UNIT 41

SITUATED WITHIN THE SOUTHWEST QUARTER OF SECTION 24,
 TOWNSHIP 4 SOUTH, RANGE 8 EAST
 OF THE GILA AND SALT RIVER MERIDIAN,
 TOWN OF FLORENCE, PINAL COUNTY, ARIZONA.

UNIT 41
LAYOUT
SHEET 4 OF 5

VERSION 2

RECORDER

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 COUNTY OF PINAL } SS

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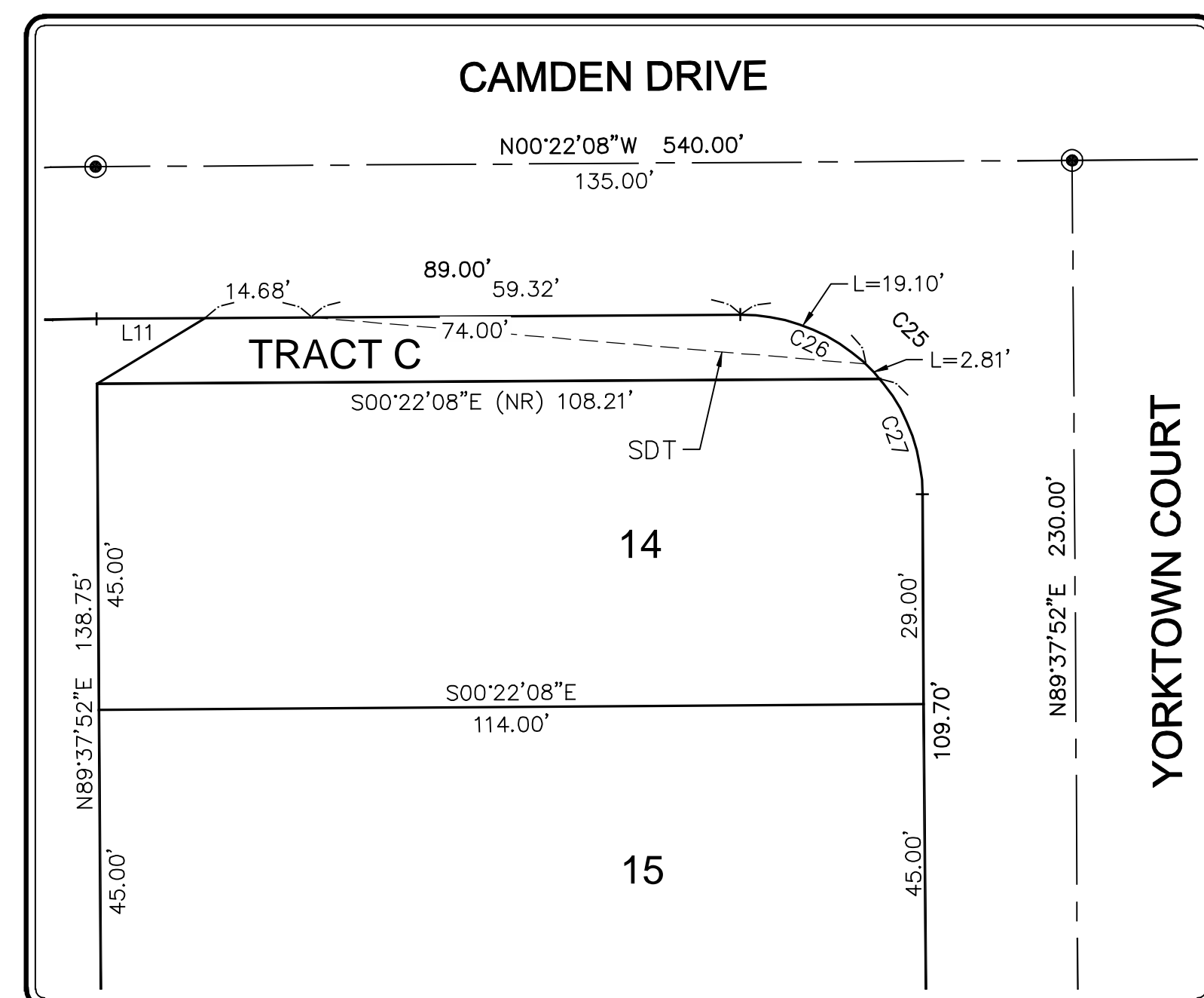
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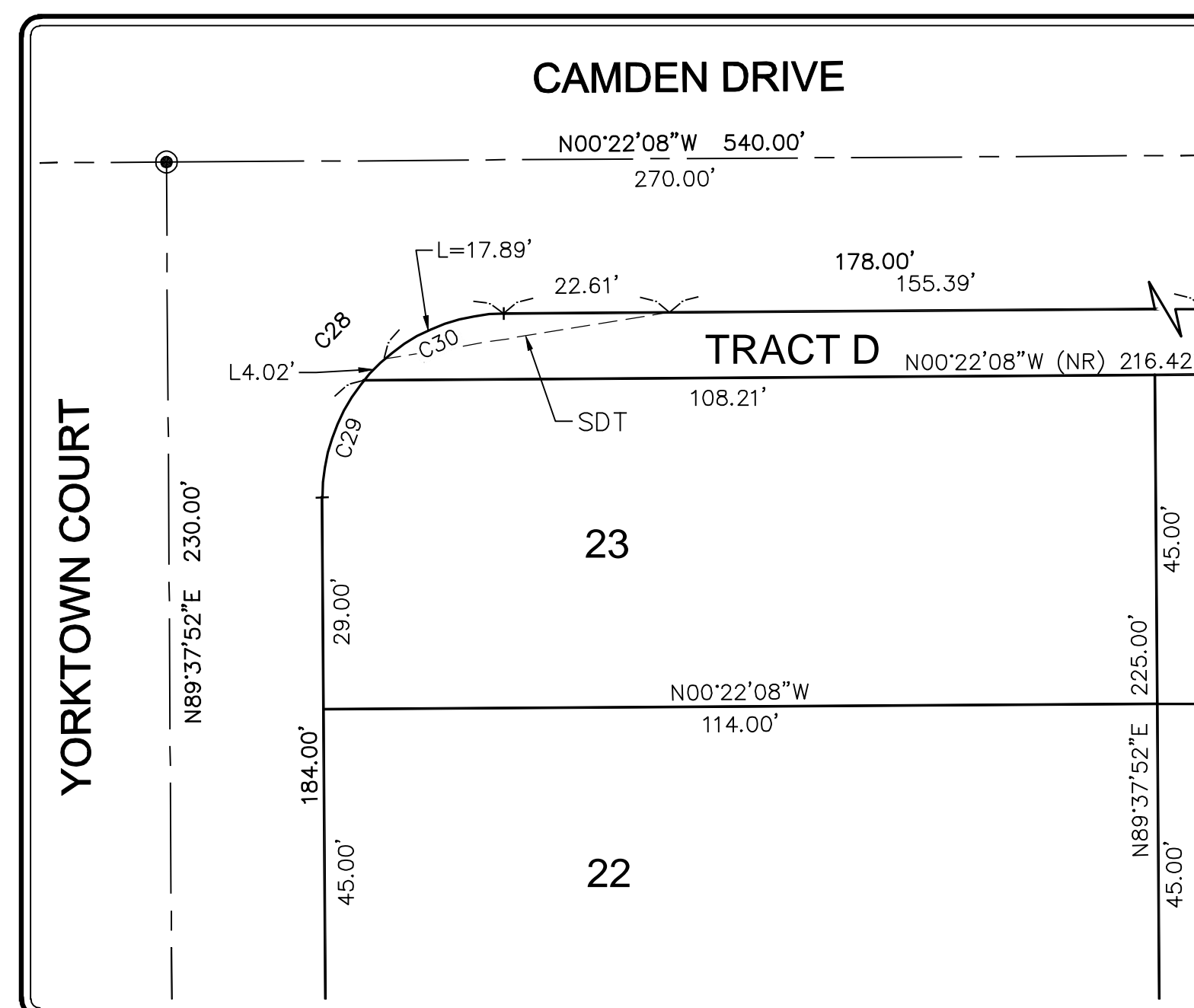
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- TERMINAL POINT ON ROW INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.

ABBREVIATIONS

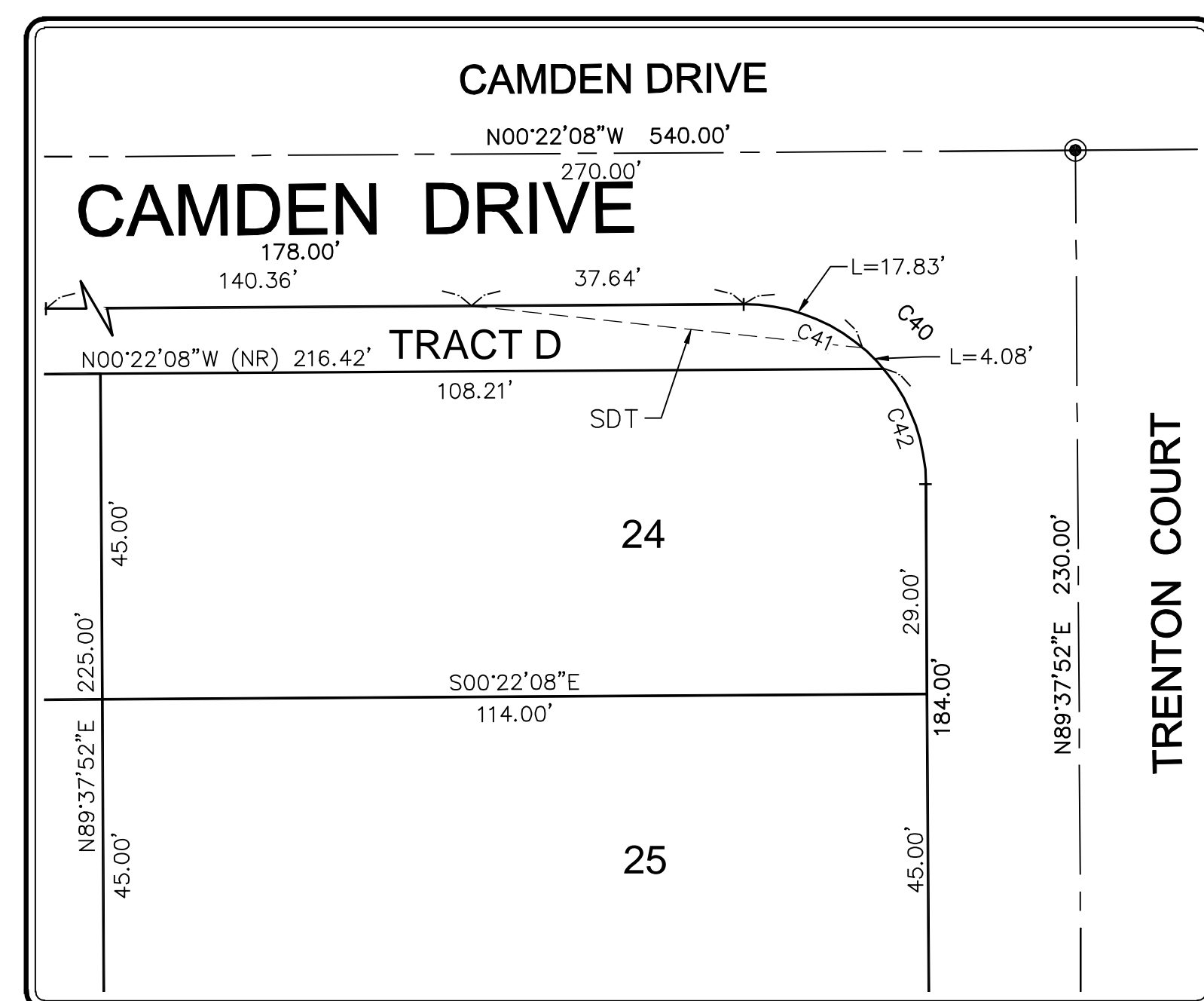
- (AC) ACRE
- AC ALUMINUM CAP
- BC BRASS CAP
- BK BOOK
- (BOB) BASIS OF BEARING
- CMU CONCRETE MASONRY UNIT
- DKT DOCKET
- FND FOUND MONUMENT
- GLO GENERAL LAND OFFICE
- LE LANDSCAPE EASEMENT
- LS#### LAND SURVEYORS REGISTRATION No. MEASURED
- (M) MORE OR LESS
- NO ID NO IDENTIFICATION, (NO LS No.)
- (NR) INDICATES LINE IS NOT RADIAL TO CURVE
- NTS NOT TO SCALE
- PCR PINAL COUNTY RECORDER
- PG PAGE
- POB POINT OF BEGINNING
- PUFE PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT
- (R) RECORD
- R # E RANGE LINE No. EAST
- (RB) RADIAL BEARING
- ROW RIGHT OF WAY
- SEC # SECTION No.
- SDE STORM DRAIN EASEMENT
- SLO SLIDE
- SSE SANITARY SEWER EASEMENT
- SDT SIGHT DISTANCE TRIANGLE
- T # S TOWNSHIP LINE No. SOUTH
- TOP TOWN OF FLORENCE
- UVT UNOBSTRUCTED VIEW TRIANGLE
- VNAE VEHICULAR NON-ACCESS EASEMENT
- WE WATERLINE EASEMENT
- WME WALL MAINTENANCE EASEMENT



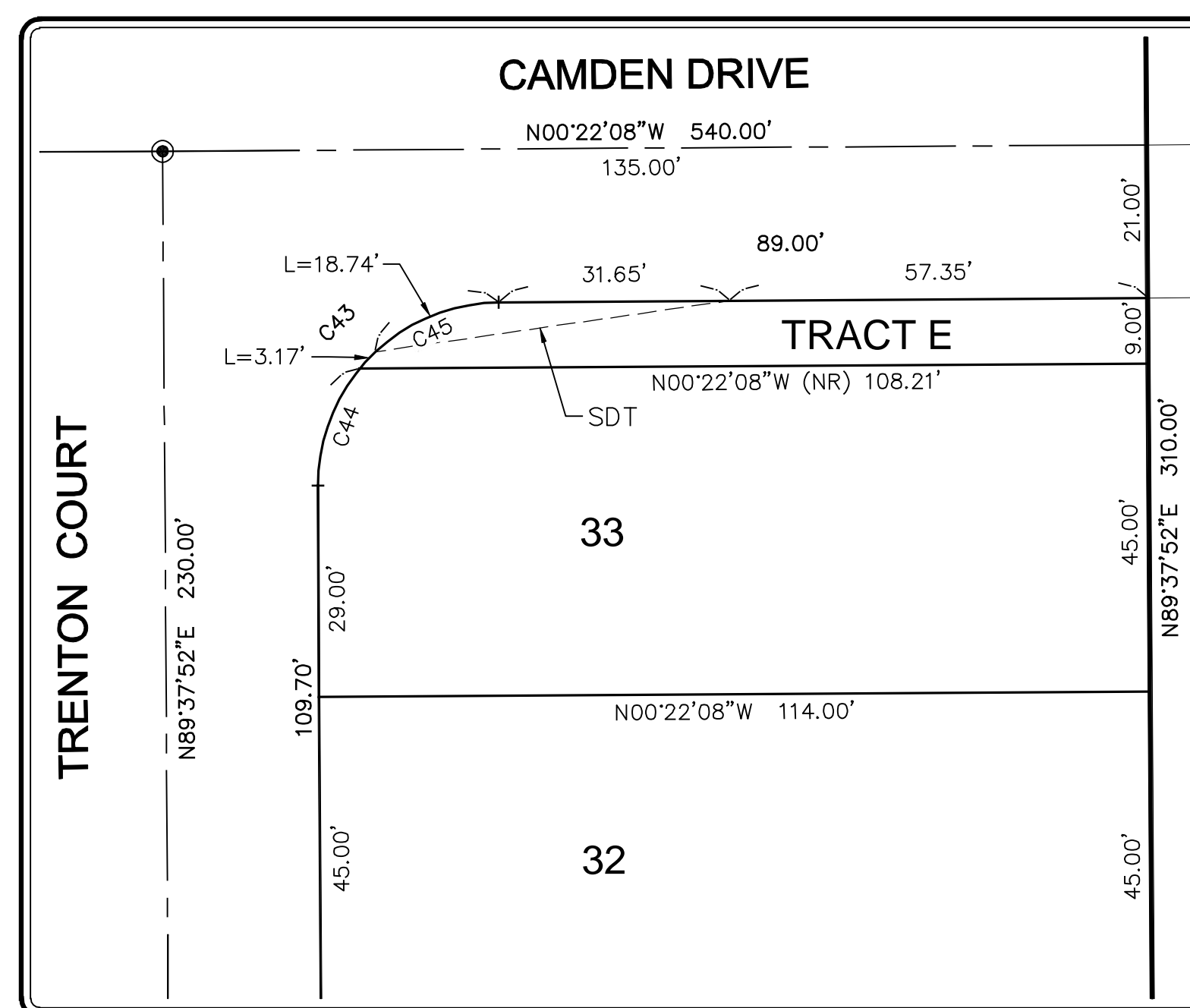
DETAIL "A" SCALE: 1"=20'



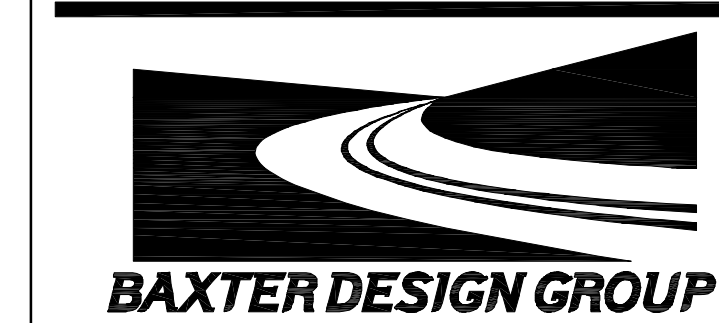
DETAIL "B" SCALE: 1"=20'



DETAIL "C" SCALE: 1"=20'



DETAIL "D" SCALE: 1"=20'



DATE:	JANUARY 8, 2018
DESIGNED BY:	BDG
DRAWN BY:	STS
REVIEWED BY:	JWW
PROJECT:	
ISSUE:	FINAL PLAT



REVISIONS:

FRANKLIN 643, LLC
ANTHEM AT MERRILL RANCH
FINAL PLAT UNIT 41

SITUATED WITHIN THE SOUTHWEST QUARTER OF SECTION 24,
 TOWNSHIP 4 SOUTH, RANGE 8 EAST,
 OF THE GILA AND SALT RIVER MERIDIAN,
 TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

UNIT 41
SDT DETAILS
SHEET 5 OF 5

VERSION 2

FINAL PLAT ANTHEM AT MERRILL RANCH UNIT 43 (TOWN OF FLORENCE, AZ)

SITUATED WITHIN THE WEST HALF OF SECTION 24,
TOWNSHIP 4 SOUTH, RANGE 8 EAST,
OF THE GILA AND SALT RIVER MERIDIAN,
TOWN OF FLORENCE, PINAL COUNTY, ARIZONA

DECLARATION, TITLE WARRANTY AND DEDICATION

STATE OF ARIZONA }
COUNTY OF PINAL } SS.

KNOW ALL MEN BY THESE PRESENTS:

FRANKLIN 643, LLC, AN ARIZONA LIMITED LIABILITY COMPANY, (HEREINAFTER REFERRED TO IN THIS PLAT AS THE "MASTER DEVELOPER"), AS OWNER HAS SUBDIVIDED UNDER THE NAME ANTHEM AT MERRILL RANCH - UNIT 43, LOCATED WITHIN THE WEST HALF OF SECTION 24, TOWNSHIP 4 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, TOWN OF FLORENCE, PINAL COUNTY, ARIZONA, AND HEREBY DECLARES THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS, TRACTS, STREETS, AND EASEMENTS CONSTITUTING SAME AND THAT SAID LOTS, TRACTS AND STREETS SHALL BE KNOWN BY THE NUMBER, LETTER OR NAME GIVEN EACH RESPECTIVELY.

THE "MASTER DEVELOPER" IS THE OWNER OF FEE TITLE IN: (A) THE PROPERTY BEING DEDICATED ON THIS PLAT TO THE PUBLIC FOR PURPOSES AND ALL INCIDENTALS THERETO; AND (B) THE PROPERTY UPON OR ACROSS WHICH EASEMENTS ARE BEING DEDICATED ON THIS PLAT TO THE PUBLIC. THE "MASTER DEVELOPER" HEREBY WARRANTS TO TOWN OF FLORENCE, A POLITICAL SUBDIVISION OF THE STATE OF ARIZONA, THE TITLE TO SUCH PROPERTY AGAINST ALL PERSONS.

STREET RIGHT-OF-WAY SHOWN ON THIS PLAT ARE DEDICATED TO THE PUBLIC FOR ROADWAY PURPOSES INCLUDING, BUT NOT LIMITED TO, ACCESS, DRAINAGE, TELECOMMUNICATIONS AND PUBLIC UTILITIES.

THE MAINTENANCE OF LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY TO BACK OF CURB SHALL BE THE RESPONSIBILITY OF THE ANTHEM PARKSIDE AT MERRILL RANCH COMMUNITY ASSOCIATION OR THE ADJUTING PROPERTY OWNER.

EASEMENTS ARE DEDICATED AS SHOWN ON THIS PLAT.

AS DESIGNATED ON THIS PLAT, ONE FOOT WIDE VEHICULAR NON-ACCESS EASEMENTS PROHIBITING VEHICULAR INGRESS AND EGRESS ARE HEREBY DEDICATED TO THE PUBLIC UPON ALL LOTS ADJACENT TO DRAINAGE EASEMENTS, TRACTS, OR FACILITIES AND/OR ADJACENT TO ARTERIAL OR COLLECTOR STREETS.

AS DESIGNATED ON THIS PLAT, THREE FOOT WIDE WALL MAINTENANCE EASEMENTS GRANTING ACCESS TO CONSTRUCT AND MAINTAIN OR REPAIR WALLS AND WALL FOOTINGS WITHIN THE WALL MAINTENANCE EASEMENT IS DEDICATED TO THE ANTHEM PARKSIDE AT MERRILL RANCH COMMUNITY ASSOCIATION, INC.

NON-EXCLUSIVE DRAINAGE EASEMENTS ARE HEREBY DEDICATED TO THE PUBLIC UPON, OVER, ACROSS AND THROUGH TRACTS A, B, C, D, E, F, G, H, I AND J AND/OR THOSE AREAS DESIGNATED AS SUCH HEREON. NO USE SHALL BE PERMITTED WITHIN THE DRAINAGE EASEMENTS WHICH WOULD PROHIBIT OR INTERFERE WITH THE DRAINAGE USE. MAINTENANCE OF THE DRAINAGE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE ANTHEM PARKSIDE AT MERRILL RANCH COMMUNITY ASSOCIATION. SHOULD THE ASSOCIATION NOT ADEQUATELY MAINTAIN THE DRAINAGE EASEMENTS, THE GOVERNING ENTITY HAVING JURISDICTION OVER THE AREA IN WHICH THE DRAINAGE EASEMENTS ARE LOCATED, AT ITS DISCRETION, MAY ENTER UPON AND MAINTAIN THE DRAINAGE EASEMENTS, AND CHARGE THE ANTHEM PARKSIDE AT MERRILL RANCH COMMUNITY ASSOCIATION THE COST OF THE MAINTENANCE. ALL OTHER EASEMENTS ARE SUBORDINATE TO THE DRAINAGE EASEMENTS.

PUBLIC UTILITY FACILITY EASEMENTS ARE HEREBY DEDICATED TO THE PUBLIC UPON, OVER, UNDER, ACROSS AND THROUGHOUT THOSE AREAS DESIGNATED AS SUCH HEREON FOR THE INSTALLATION, MAINTENANCE, REPAIR, AND REMOVAL OF UNDERGROUND UTILITIES, INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, GAS, ELECTRIC, AND TELECOMMUNICATIONS. MAINTENANCE OF THE AREAS SUBJECT TO SUCH PUBLIC UTILITY FACILITY EASEMENTS SHALL BE THE RESPONSIBILITY OF THE LOT OR TRACT OWNER.

IN WITNESS WHEREOF:

FRANKLIN 643, LLC, AS OWNER, HAS HEREUNTO CAUSED ITS NAME TO BE AFFIXED AND HAS EXECUTED THIS SUBDIVISION

PLAT BY THE SIGNATURE OF THE UNDERSIGNED, DULY AUTHORIZED, THIS _____ DAY OF _____, 20____.

FRANKLIN 643, LLC, AN ARIZONA LIMITED LIABILITY COMPANY;

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS.

ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED.

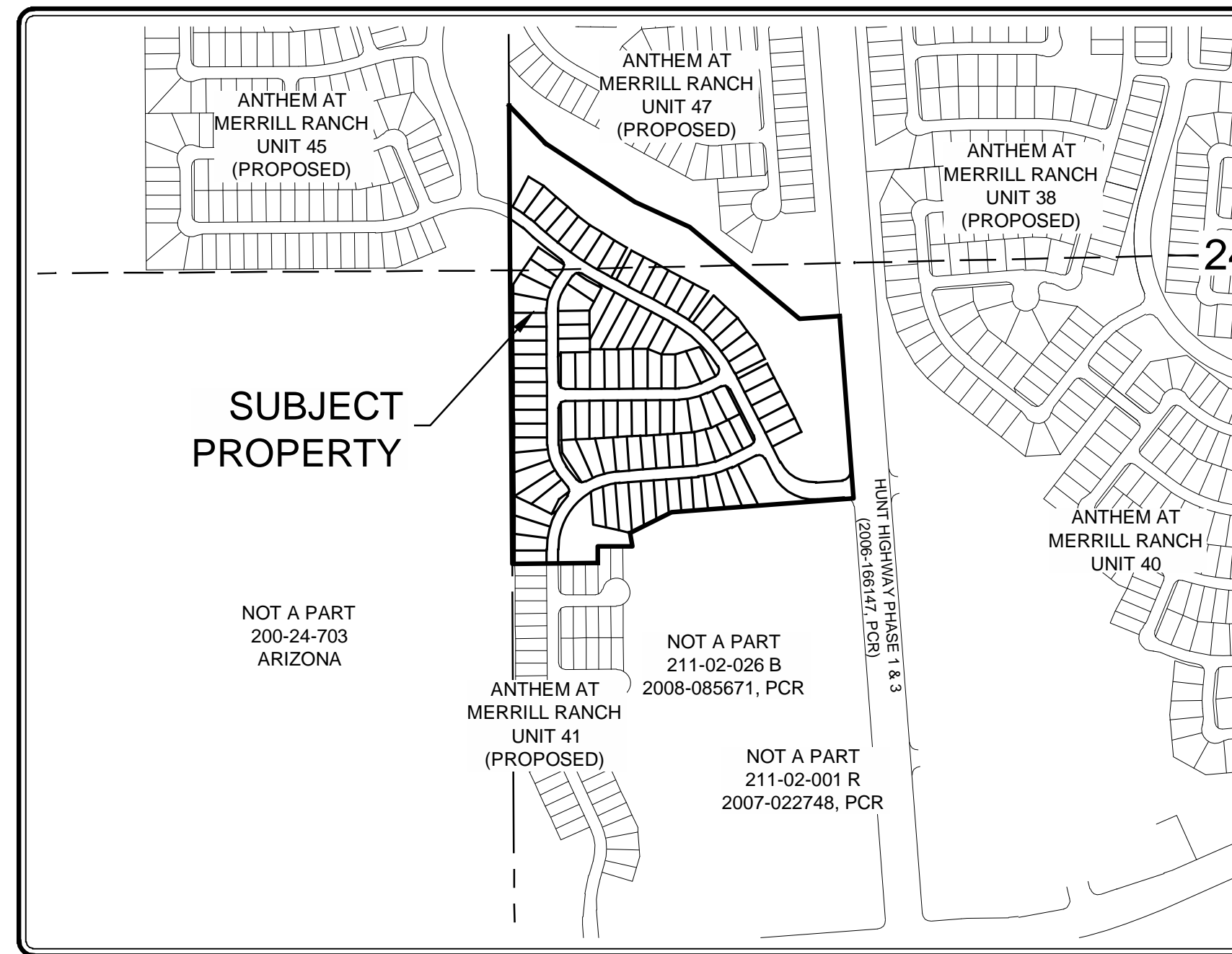
_____, WHO ACKNOWLEDGED SELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FORGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED. IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC DATE

MY COMMISSION EXPIRES: _____, 20____.

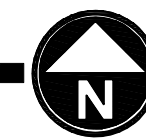
MERRILL RANCH COMMUNITY FACILITIES DISTRICT NO. 2

NOTWITHSTANDING THE FOREGOING, THE OWNER OF THE REAL PROPERTY WHICH IS THE SUBJECT OF THIS PLAT, (COLLECTIVELY WITH PREDECESSORS AND SUCCESSORS AND THEIR ASSIGNS PURSUANT TO THE HEREINAFTER DESCRIBED DEVELOPMENT AGREEMENT, THE "OWNERS"), HEREBY RESERVE AN INTEREST IN ANY OF THE FOREGOING REAL PROPERTY UPON WHICH WHAT WOULD BE "PUBLIC INFRASTRUCTURE" AS SUCH TERM IS DEFINED IN SECTION 48-701, ARIZONA REVISED STATUTES, HAS BEEN OR IS TO BE CONSTRUCTED. EXCEPT IF RELEASED PRIOR THERETO AS HEREINAFTER DESCRIBED, SUCH INTEREST IS, IF THE OWNERS BECOME A PARTY TO THE DEVELOPMENT AGREEMENT, TO BE ACQUIRED PURSUANT TO A DEVELOPMENT AGREEMENT, ORIGINALLY DATED DECEMBER 1, 2005, AND AS THEREBY AMENDED AFTER, AMONG THE OWNERS, THE TOWN OF FLORENCE, ARIZONA (THE "MUNICIPALITY") AND MERRILL RANCH COMMUNITY FACILITIES DISTRICT NO. 2, AMONG OTHERS. SUCH DISTRICT WILL ACQUIRE SUCH PUBLIC INFRASTRUCTURE PURSUANT TO SUCH DEVELOPMENT AGREEMENT. (SUCH INTEREST IS LIMITED TO ONE NECESSARY TO ACCOMMODATE THE FINANCING OF THE ACQUISITION OF SUCH PUBLIC INFRASTRUCTURE (INCLUDING OF SUCH INTEREST IN SUCH REAL PROPERTY) PURSUANT TO SUCH DEVELOPMENT AGREEMENT). SUCH INTEREST TO BE RELEASED UPON THE EARLIER OF THE ACQUISITION OF SUCH PUBLIC INFRASTRUCTURE ONLY BY SUCH DISTRICT PURSUANT TO SUCH DEVELOPMENT AGREEMENT AND DECEMBER 31, 2038.



LOCATION MAP

1" = 500'



SHEET INDEX

SHEET NO.	CONTENTS
1	COVER SHEET
2	INDEX MAP/LEGAL DESCRIPTION
3	UNIT 43 LAYOUT
4	UNIT 43 LAYOUT
5	UNIT 43 LAYOUT
6	UNIT 43 SDT DETAILS

TRACT AREA TABLE

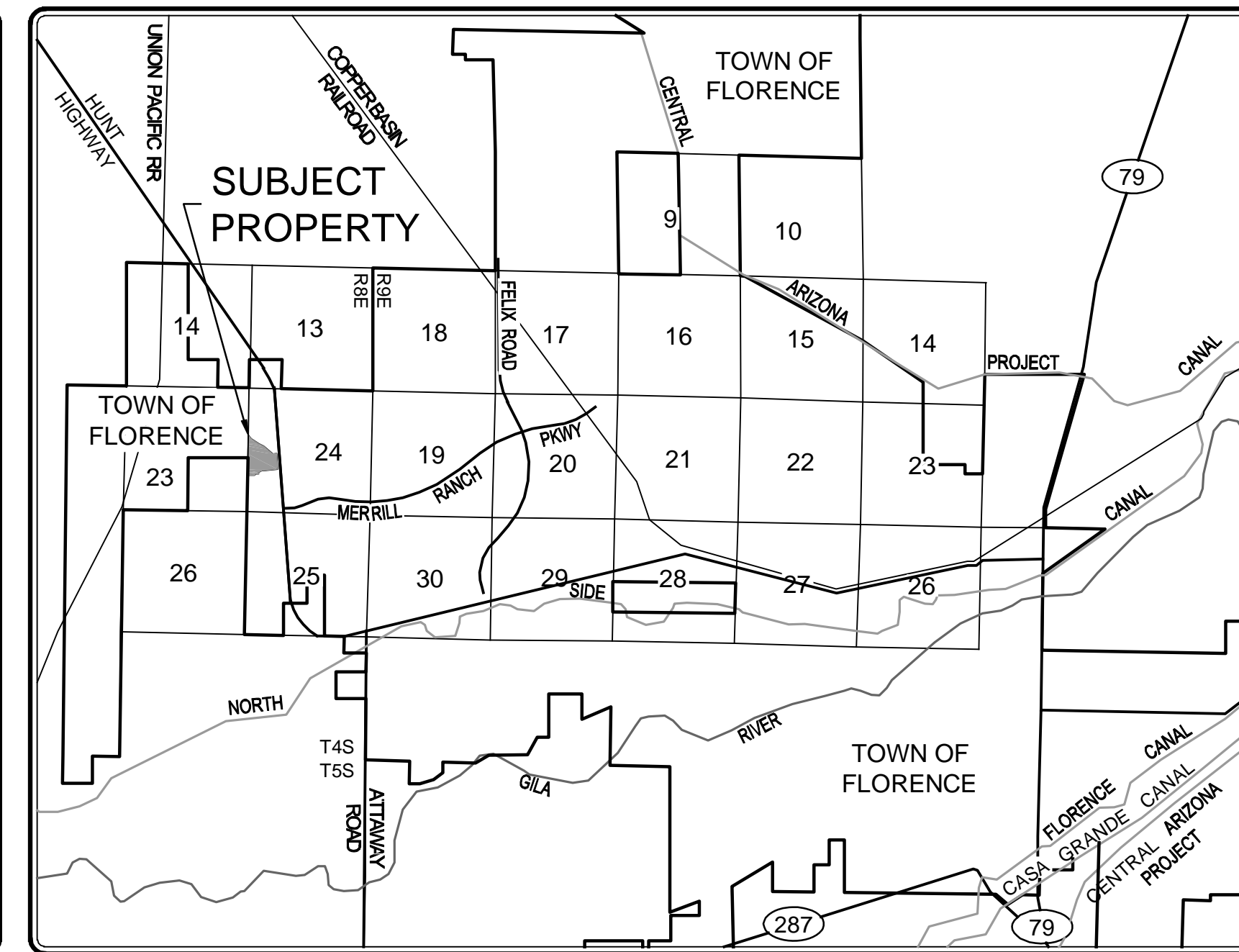
TRACT	AREA (AC)	USAGE
TRACT A	7.6870	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT, RETENTION BASIN & OPEN SPACE
TRACT B	0.4920	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT, RETENTION BASIN & OPEN SPACE
TRACT C	0.7983	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT, RETENTION BASIN & OPEN SPACE
TRACT D	0.0228	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT, RETENTION BASIN & OPEN SPACE
TRACT E	0.0729	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT & OPEN SPACE
TRACT F	0.0444	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT & OPEN SPACE
TRACT G	0.2263	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT, RETENTION BASIN & OPEN SPACE
TRACT H	0.0235	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT & OPEN SPACE
TRACT I	0.0199	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT & OPEN SPACE
TRACT J	0.5866	LANDSCAPE, DRAINAGE, PUBLIC UTILITY EASEMENT, RETENTION BASIN & OPEN SPACE

COUNTY RIGHT-OF-WAY EASEMENT ABANDONED AS PART OF THIS RECORDING

PCR No.	AREA (AC)	USAGE
DKT 375, PG 572, PCR	0.4379	COUNTY RIGHT-OF-WAY NW 1/4 SEC 24, T4S, R8E
DKT 375, PG 572, PCR	0.8019	COUNTY RIGHT-OF-WAY SW 1/4 SEC 24, T4S, R8E

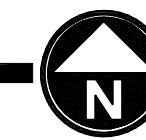
GENERAL NOTES

- ALL-WEATHER ACCESS WILL BE PROVIDED TO ALL LOTS WITHIN THIS SUBDIVISION.
- ALL PROPOSED DWELLING UNITS SHALL BE SINGLE FAMILY, DETACHED.
- THIS SUBDIVISION IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR ANTHEM AT MERRILL RANCH.
- PUBLIC UTILITY FACILITY EASEMENT WOULD BE LAND DEDICATED FOR INSTALLATION OF FACILITIES OVERHEAD AND UNDERGROUND, FURNISHED FOR USE BY THE PUBLIC. THIS TYPE OF EASEMENT MAY BE USED TO DEDICATE INGRESS TO PROPERTY, AS IN PRIVATE STREET SUBDIVISIONS. ALSO INCLUDED ARE IMPROVEMENTS SUCH AS STREETLIGHTS, TRAFFIC SIGNAL DEVICES, SIDEWALK, AND FLOOD CONTROL. THESE FACILITIES MAY BE OWNED AND OPERATED BY THE MUNICIPALITY OR DULY AUTHORIZED POLITICAL SUBDIVISION OF THE STATE OF ARIZONA.
- CONSTRUCTION WITHIN UTILITY EASEMENTS SHALL BE LIMITED TO UTILITIES, FENCES AND DRIVEWAYS, SIDEWALKS AND INSTALLATION OF STREET SIGNS.
- NO STRUCTURES OR VEGETATION OF ANY KIND THAT WOULD IMPEDE THE FLOW OF WATER THROUGH THE EASEMENTS MAY BE CONSTRUCTED, PLANTED OR ALLOWED TO GROW WITHIN DRAINAGE EASEMENTS.
- ONLY GROUND COVER AND BUSHES ARE ALLOWED TO BE PLANTED WITHIN EASEMENTS DEDICATED FOR THE EXCLUSIVE USE OF WATER, SANITARY SEWER, RECLAIMED WATER OR ANY COMBINATION THEREOF. NO TREES ARE ALLOWED.
- VISIBILITY EASEMENT RESTRICTIONS: ANY OBJECT, WALL, STRUCTURE, MOUND, OR LANDSCAPING (MATURE) OVER 24" IN HEIGHT IS NOT ALLOWED WITHIN THE VISIBILITY EASEMENT (SEE SHEET 2 FOR DETAIL) OR THE INTERSECTION SIGHT DISTANCE TRIANGLE (SEE SHEET 5 FOR DETAILS).
- TRACT, LOT AND PARCEL MONUMENTATION TO SET AT THE COMPLETION OF STREET PAVING.
- ALL TRACTS THAT WILL NOT BE DEDICATED TO THE TOWN OF FLORENCE AND ALL COMMON PROPERTY SHALL BE IMPROVED IN ACCORDANCE WITH PLANS APPROVED BY THE TOWN OF FLORENCE AND SHALL BE CONVEYED BY WARRANTY (OR SPECIAL WARRANTY) DEED TO THE COMMUNITY ASSOCIATION. THE COMMUNITY ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE COMMON PROPERTY.
- ALL PROPERTY LINES SHOWN INTERSECTING AN ARC ARE TO BE ASSUMED RADIAL, UNLESS NOTED AS NON-RADIAL (NR).
- POSITIONAL TOLERANCE FOR WALLS COMMON TO TWO LOTS IS +/-1.00 FOOT FROM COMMON LOT LINE. WALLS COMMON TO A LOT AND A TRACT OR RIGHT-OF-WAY ARE TO BE WITHIN THE WALL MAINTENANCE EASEMENT.
- DEVELOPMENT WITHIN THIS FINAL PLAT SHALL CONFORM WITH THE 2006 INTERNATIONAL FIRE CODE.
- THIS FINAL PLAT REFLECTS THE UPDATED FEMA FLOOD ZONE CLASSIFICATION EFFECTIVE DECEMBER 4, 2007.
- LOTS 23 THRU 26 AND 36 THRU 42 CURRENTLY SHOWN TO BE WITHIN THE LIMITS OF THE FEMA FLOOD ZONE A (100-YR STORM EVENT) SHALL HAVE NO VERTICAL CONSTRUCTION UNTIL APPROVAL OF THE LMR REVISING THE FLOOD ZONE TO AE AND ESTABLISHING NEW BOUNDARY LIMITS EXCLUDING THE LOTS.



VICINITY MAP

NOT TO SCALE



BASIS OF BEARING

THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 24, (THE WEST QUARTER CORNER BEING A 3" GLO BRASS CAP, FOUND AND THE NORTHWEST CORNER BEING A AC, LS 17258, FOUND), TOWNSHIP 4 SOUTH, RANGE 8 EAST, OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA; BEARING BEING N00°22'45"W. HORIZONTAL DISTANCE BETWEEN MONUMENTS BEING 2637.41'.

WATER AND SEWER SERVICE CERTIFICATION

ANTHEM AT MERRILL RANCH UNIT 43 IS WITHIN THE SERVICE AREA OF JOHNSON UTILITIES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, WHICH HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY PURSUANT TO A.R.S. 45-576. A COMMITMENT TO SUPPLY WATER SERVICE TO THIS PLATTED SUBDIVISION HAS BEEN RECEIVED FROM SAID COMPANY AS EVIDENCED BY JOHNSON UTILITIES DRINKING WATER SERVICE AGREEMENT, A COPY OF WHICH IS SUBMITTED WITH THIS PLAT. ON-SITE SANITARY SEWER DISTRIBUTION LINES WILL BE CONSTRUCTED BY THE DEVELOPER OF THIS SUBDIVISION AND OWNED AND MAINTAINED BY JOHNSON UTILITIES, L.L.C.

JOHNSON UTILITIES, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGEMENT

STATE OF _____)
COUNTY OF _____) SS.

ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED, PERSONALLY

APPEARED _____, WHO ACKNOWLEDGED SELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FORGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC DATE

MY COMMISSION EXPIRES: _____, 20____.

APPROVALS

BY ACCEPTANCE OF THIS PLAT, THE TOWN OF FLORENCE AGREES TO THE VACATION OR ABANDONMENT OF THE EASEMENTS DESCRIBED OR SHOWN HEREON AS BEING VACATED OR ABANDONED.

APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR AND THE TOWN ENGINEER OF THE TOWN OF FLORENCE,

ARIZONA, THIS _____ DAY OF _____, 20____.

APPROVED BY: _____ DATE: _____
DEVELOPMENT SERVICES DIRECTOR
TOWN OF FLORENCE, ARIZONA

APPROVED BY: _____ DATE: _____
TOWN ENGINEER
TOWN OF FLORENCE, ARIZONA

APPROVED BY THE COUNCIL OF THE TOWN OF FLORENCE, ARIZONA, THIS _____ DAY OF _____, 20____.

APPROVED BY: _____ DATE: _____
MAYOR

ATTEST: _____ DATE: _____
TOWN CLERK

RECORDER

STATE OF ARIZONA }
COUNTY OF PINAL } SS.

I hereby certify that the within instrument is filed in the official records of this County as Fee No. _____
Date: _____
Request of: _____
Witness my hand and official seal.
Virginia Ross Pinal County Recorder
By: _____ Deputy

DEVELOPER / OWNER FRANKLIN 643, LLC

5013 E. WASHINGTON ST. STE. 100
PHOENIX, AZ 85034
602.224.4503

SURVEYOR BAXTER DESIGN GROUP, LLC

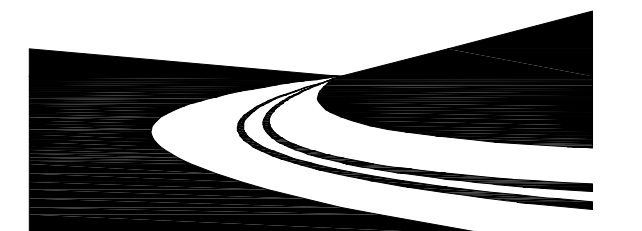
7500 N. DOBSON ROAD, SUITE 200
SCOTTSDALE, AZ 85256
480.818.6001

LAND USE INFORMATION

GROSS AREA	30.0362	ACRES
OPEN SPACE	9.9737	ACRES
RIGHT-OF-WAY AREA	4.0986	ACRES
NET AREA	25.9376	ACRES
TOTAL LOTS	104	
PROPOSED DENSITY	3.4625	D.U./AC.
ZONING	P.U.D. R-1	

UTILITIES AND SERVICES

GAS	SOUTHWEST GAS
SEWER	JOHNSON UTILITIES CO
WATER	JOHNSON UTILITIES CO
ELECTRIC	ARIZONA PUBLIC SERVICE (APS)
TELEPHONE	CENTURY LINK
SOLID WASTE DISPOSAL	TOWN OF FLORENCE
CABLE	COX/CENTURYLINK
POLICE	TOWN OF FLORENCE POLICE DEPARTMENT
FIRE	TOWN OF FLORENCE FIRE DEPARTMENT
SCHOOLS	FLORENCE UNIFIED SCHOOL DISTRICT



BAXTER DESIGN GROUP
7500 N. Dobson Rd., Suite 200
Scottsdale, AZ 85256
(480) 818-6001

SURVEYOR CERTIFICATION

THIS IS TO CERTIFY THAT THIS PLAT IS CORRECT AND ACCURATE AND THE MONUMENTS DESCRIBED HEREIN HAVE EITHER BEEN SET OR LOCATED AS DESCRIBED TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE:	DECEMBER 6, 2017
DESIGNED BY:	BDG
DRAWN BY:	JTS
REVIEWED BY:	JWW
PROJECT:	FINAL PLAT



J.W. WEEKS, R.L.S. 43021
BAXTER DESIGN GROUP, LLC
7500 N. DOBSON ROAD, SUITE 200
SCOTTSDALE, AZ 85256

REVISIONS: _____

FRANKLIN 643, LLC ANTHEM AT MERRILL RANCH FINAL PLAT UNIT 43

SITUATED WITHIN THE WEST 1/2 OF SEC 24,
TOWNSHIP 4 SOUTH, RANGE 8 EAST
OF THE G&SRM, TOF, PINAL CO., AZ

UNIT 43
COVER SHEET
SHEET 1 OF 6

path: Z:\055-Subdiv\UNIT43\43-5-PLAT\G&S\Drawings\
file name: 055 UNIT 43 FP 42.dwg | plot date: January 08, 2018 | plotted by: sszavala

VERSION 2

LEGAL DESCRIPTION

A PARCEL OF LAND LYING WITHIN THE WEST HALF OF SECTION 24, TOWNSHIP 4 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER MERIDIAN, PINAL COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST QUARTER CORNER (FOUND, 3" GLO BRASS CAP) OF SAID SECTION 24, FROM WHICH POINT THE NORTHWEST CORNER (FOUND, AC, LS 17258) OF SAID SECTION 24 BEARS NORTH 00 DEGREES 22 MINUTES 45 SECONDS WEST (BASIS OF BEARING), A DISTANCE OF 2637.41 FEET AND FROM WHICH POINT THE SOUTHWEST CORNER (FOUND, GLO BRASS CAP) OF SAID SECTION 24 BEARS SOUTH 00 DEGREES 22 MINUTES 08 SECONDS EAST, A DISTANCE OF 2638.19 FEET, SAID POINT BEING THE TRUE POINT OF BEGINNING;

THENCE NORTH 00 DEGREES 22 MINUTES 45 SECONDS WEST, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 24, A DISTANCE OF 595.79 FEET;

THENCE SOUTH 43 DEGREES 42 MINUTES 37 SECONDS EAST, A DISTANCE OF 190.47 FEET;

THENCE SOUTH 56 DEGREES 50 MINUTES 41 SECONDS EAST, A DISTANCE OF 386.53 FEET;

THENCE SOUTH 65 DEGREES 27 MINUTES 14 SECONDS EAST, A DISTANCE OF 215.82 FEET;

THENCE SOUTH 50 DEGREES 01 MINUTES 49 SECONDS EAST, A DISTANCE OF 516.80 FEET;

THENCE NORTH 85 DEGREES 40 MINUTES 51 SECONDS EAST, A DISTANCE OF 146.00 FEET;

THENCE SOUTH 04 DEGREES 19 MINUTES 09 SECONDS EAST, A DISTANCE OF 660.25 FEET;

THENCE SOUTH 85 DEGREES 40 MINUTES 51 SECONDS WEST, A DISTANCE OF 658.70 FEET;

THENCE SOUTH 63 DEGREES 12 MINUTES 14 SECONDS WEST, A DISTANCE OF 167.70 FEET;

THENCE SOUTH 10 DEGREES 02 MINUTES 21 SECONDS EAST, A DISTANCE OF 48.60 FEET;

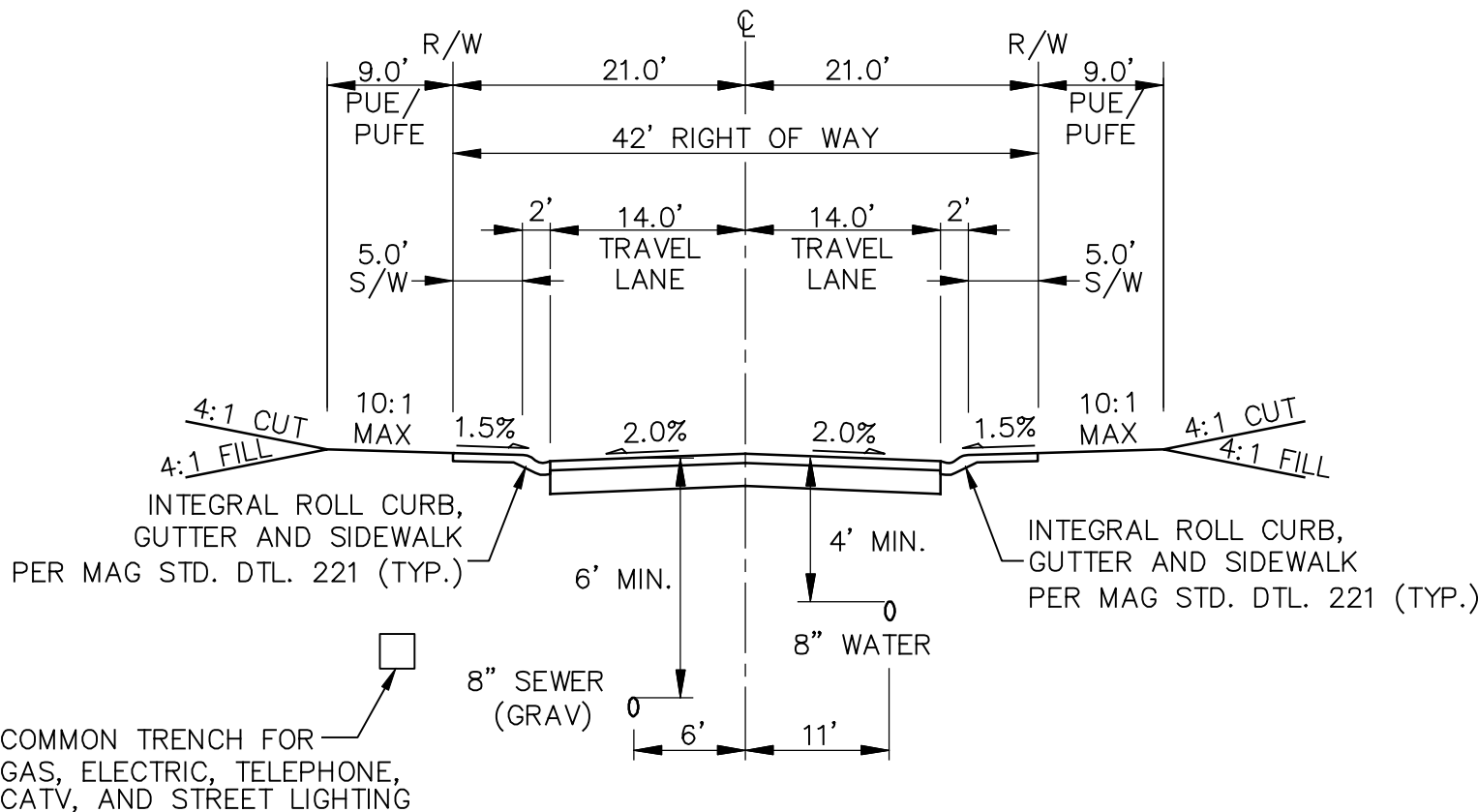
THENCE SOUTH 89 DEGREES 37 MINUTES 52 SECONDS WEST, A DISTANCE OF 124.50 FEET;

THENCE SOUTH 00 DEGREES 22 MINUTES 08 SECONDS EAST, A DISTANCE OF 60.00 FEET;

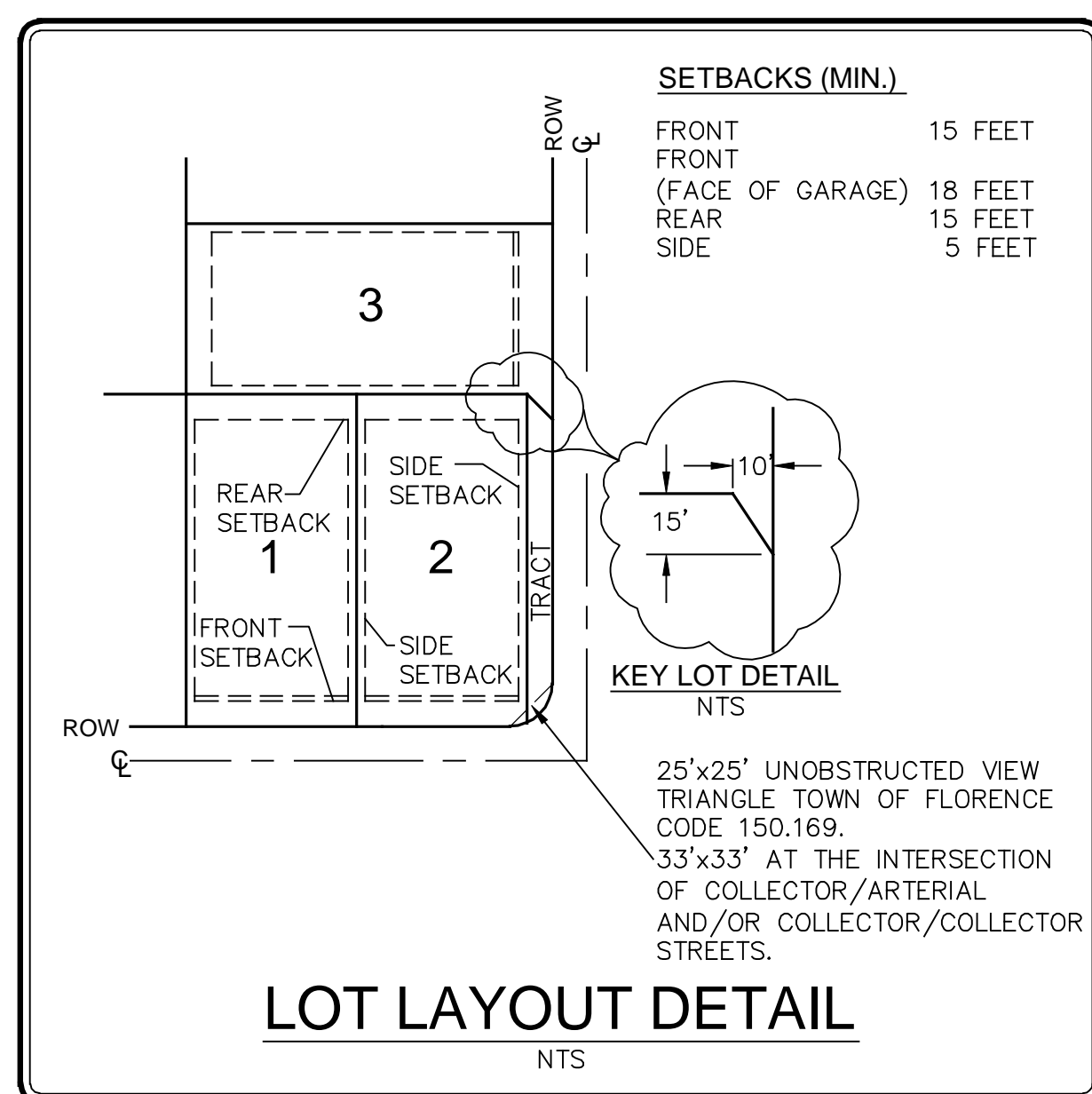
THENCE SOUTH 89 DEGREES 37 MINUTES 52 SECONDS WEST, A DISTANCE OF 310.00 FEET;

THENCE NORTH 00 DEGREES 22 MINUTES 08 SECONDS WEST ALONG WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 24, A DISTANCE OF 1058.20 FEET TO THE POINT OF BEGINNING.

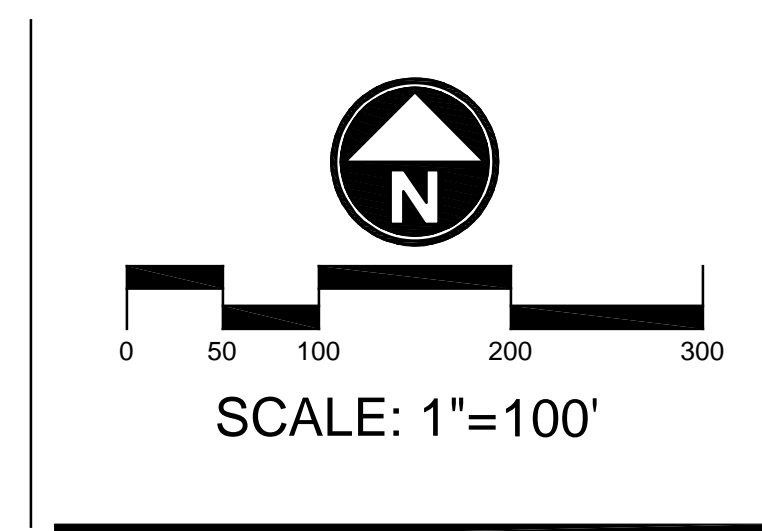
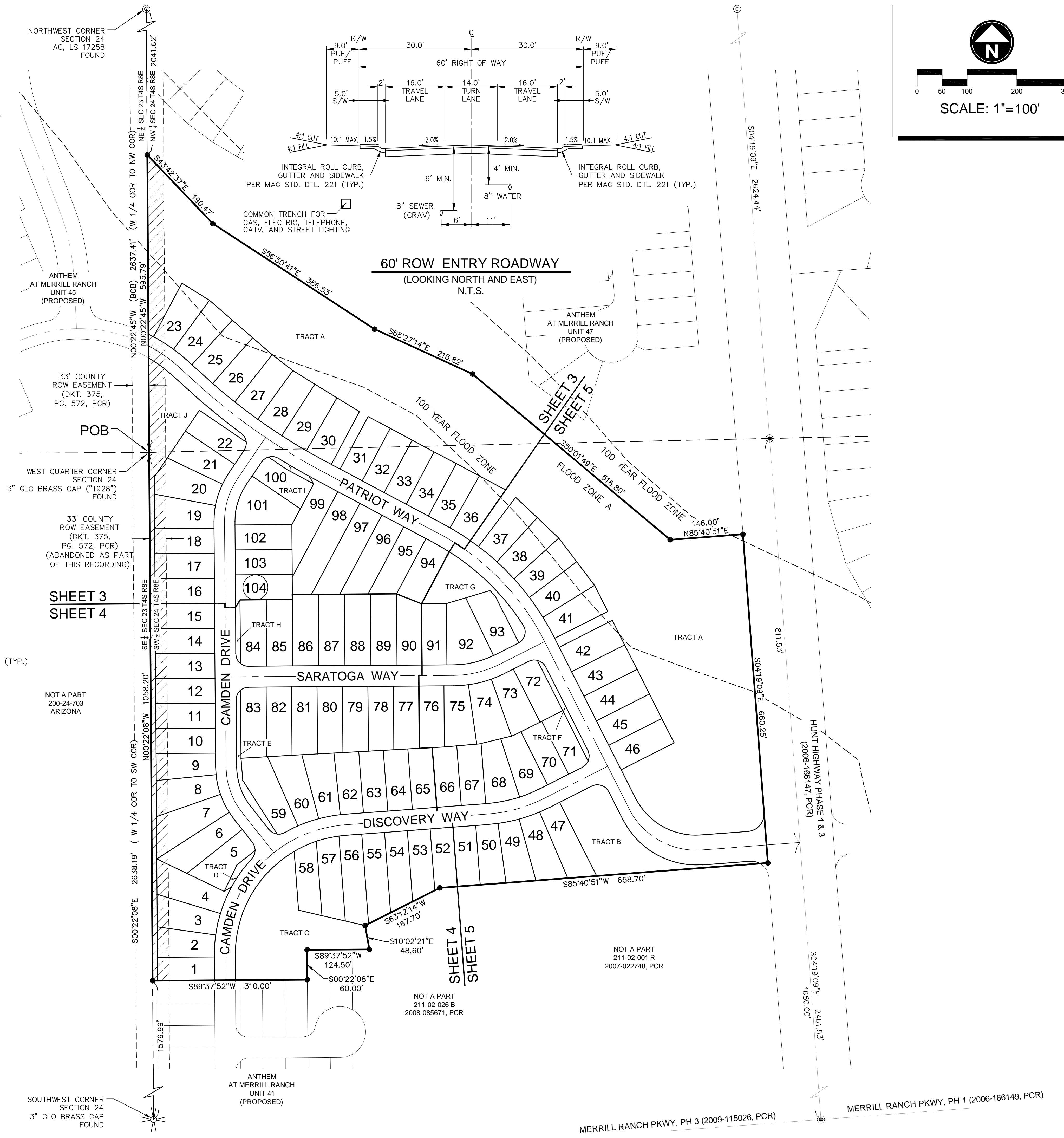
CONTAINING 30.0362 ACRES MORE OR LESS.



LOCAL ROADWAY (LOOKING NORTH AND EAST) N.T.S.



LOT LAYOUT DETAIL N.T.S.



SCALE: 1"=100'

RECORDER

STATE OF ARIZONA }
COUNTY OF PINAL } SS

I hereby certify that the within instrument is filed in the official records of this County as Fee No. _____

Date: _____

Request of: _____

Witness my hand and official seal.
Virginia Ross Pinal County Recorder
By: _____ Deputy

SYMBOL LEGEND

- SECTION CORNER, GLO BRASS CAP, UNLESS NOTED OTHERWISE
- QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- CENTERLINE MONUMENT (BRASS CAP, OR AS NOTED)
- 1/2" REBAR & CAP, RLS 21065, SET (UNLESS NOTED OTHERWISE)

LINE LEGEND

- BREAK LINE
- CENTERLINE OF ROADWAY
- EASEMENT LINE
- PLAT BOUNDARY
- PROPERTY LINE
- ROW
- SECTION LINE
- TERMINAL POINT ON ROW INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.

ABBREVIATIONS

- (AC) ACRE
- AL ALUMINUM CAP
- BC BRASS CAP
- BK BOOK
- (BOB) BASIS OF BEARING
- CMU CONCRETE MASONRY UNIT
- DKT DOCKET
- FND FOUND MONUMENT
- GLO GENERAL LAND OFFICE
- LE LANDSCAPE EASEMENT
- LS##### LAND SURVEYORS REGISTRATION No.
- (M) MEASURED
- MOL MORE OR LESS
- NO ID NO IDENTIFICATION, (NO LS No.)
- INDICATES LINE IS NOT
- (NR) RADIAL TO CURVE
- NTS NOT TO SCALE
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- POB POINT OF BEGINNING
- POB PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT
- PUFE PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT
- (R) RECORD
- R # E RANGE LINE No. EAST
- (RB) RADIAL BEARING
- ROW RIGHT OF WAY
- SEC # SECTION No.
- SDE STORM DRAIN EASEMENT
- SLD SLIDE
- SSE SANITARY SEWER EASEMENT
- SST SIGHT DISTANCE TRIANGLE
- T # S TOWNSHIP LINE No. SOUTH
- TOF TOWN OF FLORENCE
- UVT UNOBSTRUCTED VIEW TRIANGLE
- VNAE VEHICULAR NON-ACCESS EASEMENT
- WME WALL MAINTENANCE EASEMENT

BAXTER DESIGN GROUP
7500 N. Dobson Rd., Suite 200
Scottsdale, AZ 85256
(480) 818-6001

DATE: DECEMBER 6, 2017
DESIGNED BY: BDG
DRAWN BY: STS
REVIEWED BY: JWW
PROJECT: _____
ISSUE: FINAL PLAT

REVISIONS:

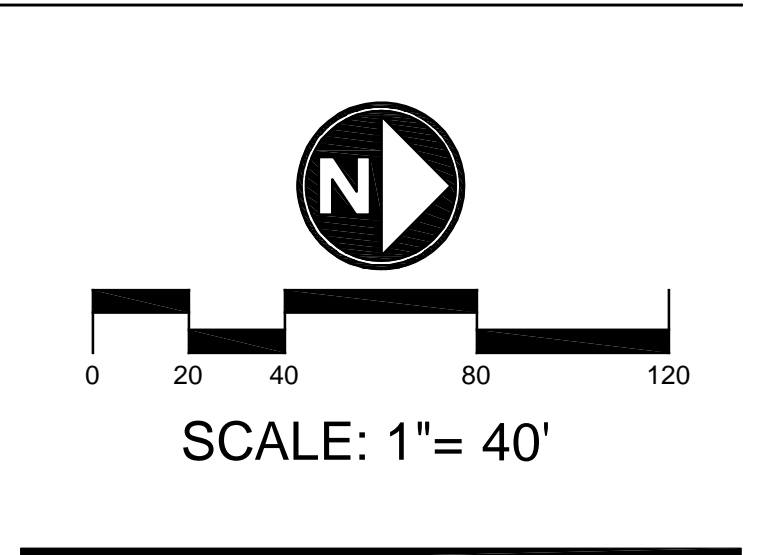
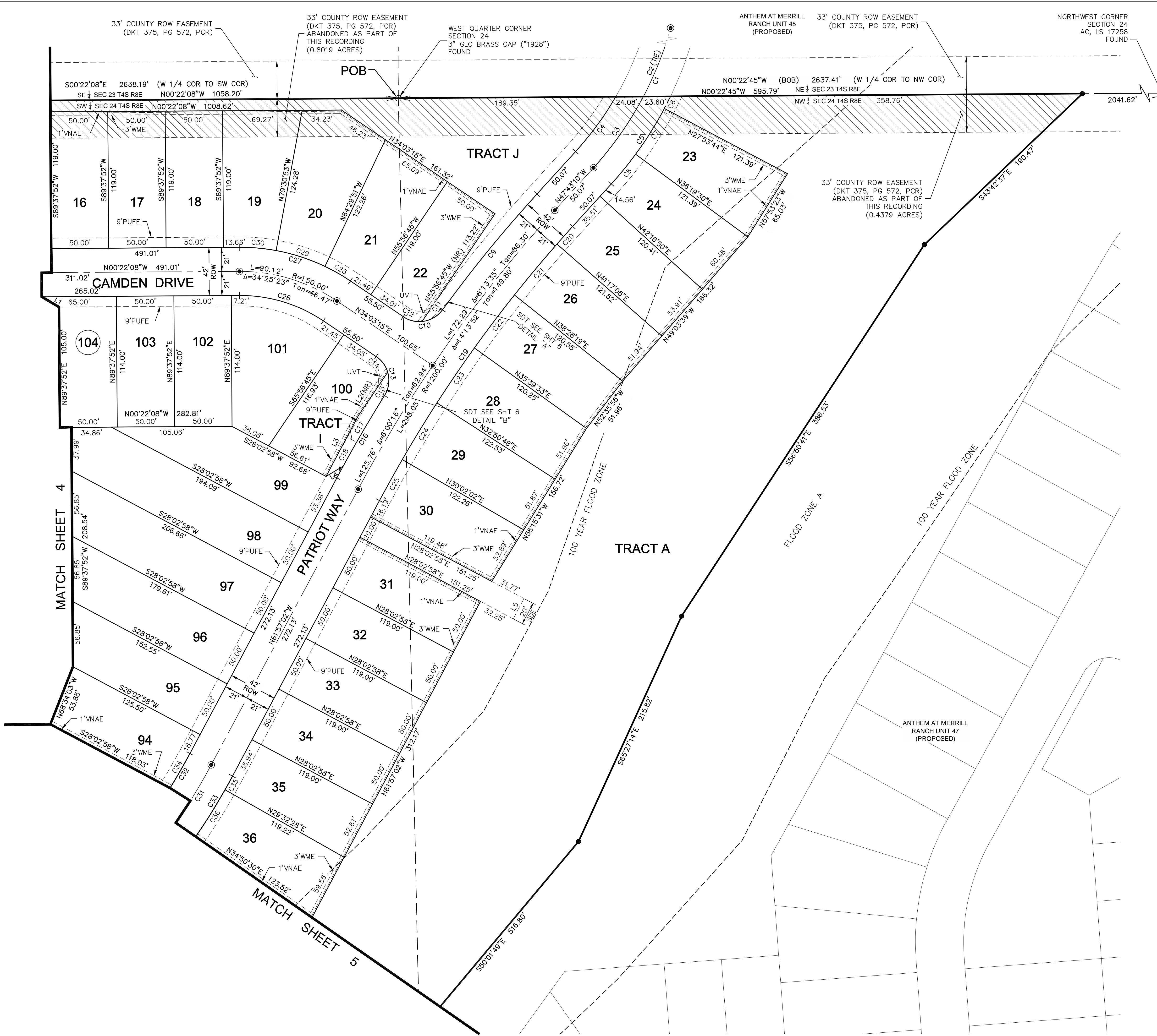
FRANKLIN 643, LLC
ANTHEM AT MERRILL RANCH
FINAL PLAT
UNIT 43

SITUATED WITHIN THE WEST 1/4 OF SEC 24, TOWNSHIP 4 SOUTH, RANGE 8 EAST OF THE G&SRM, TOF, PINAL CO., AZ

UNIT 43
INDEX MAP
SHEET 2 OF 6

path: R:\055-Subdiv\UNIT43\INDEX\INDEX.dwg
file name: 055 UNIT 43 PP 42.dwg | plot date: January 08, 2018 | plotted by: scs/ced

VERSION 2



RECORDER

STATE OF ARIZONA }
 COUNTY OF PINAL } SS

I hereby certify that the within instrument is filed in the official records of this County as Fee No. _____
 Date: _____
 Request of: _____
 Witness my hand and official seal.
 Virginia Ross Pinal County Recorder
 By: _____ Deputy

SYMBOL LEGEND

- SECTION CORNER, GLO BRASS CAP, UNLESS NOTED OTHERWISE
- QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
- CENTERLINE MONUMENT (BRASS CAP, OR AS NOTED)
- 1/2" REBAR & CAP, RLS 21065, SET (UNLESS NOTED OTHERWISE)

LINE LEGEND

- BREAK LINE
- CENTERLINE OF ROADWAY
- EASEMENT LINE
- PLAT BOUNDARY
- PROPERTY LINE
- ROW
- SECTION LINE
- TERMINAL POINT ON ROW INDICATES THAT PORTION OF EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.

ABBREVIATIONS

- (AC) ACRE
- AL ALUMINUM CAP
- BC BRASS CAP
- BK BOOK
- (BOB) BASIS OF BEARING
- CMU CONCRETE MASONRY UNIT
- DKT DOCKET
- FND FOUND MONUMENT
- GLO GENERAL LAND OFFICE
- LE LANDSCAPE EASEMENT
- LS##### LAND SURVEYORS REGISTRATION No.
- (M) MEASURED
- MOL MORE OR LESS
- NO ID NO IDENTIFICATION, (NO LS No.)
- (NB) INDICATES LINE IS NOT
- (NR) RADIAL TO CURVE
- NTS NOT TO SCALE
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- SOT SIGHT DISTANCE TRIANGLE
- T # S TOWNSHIP LINE No. SOUTH
- TOF TOWN OF FLORENCE
- UNVT UNOBSTRUCTED VIEW TRIANGLE
- VNAE VEHICULAR NON-ACCESS EASEMENT
- WME WALL MAINTENANCE EASEMENT

LOT TABLE

LOT NO.	SQ. FT.	ACRES
16	5,950	0.1366
17	5,950	0.1366
18	5,950	0.1366
19	6,919	0.1588
20	7,834	0.1798
21	6,698	0.1538
22	5,921	0.1359
23	6,765	0.1553
24	6,518	0.1496
25	6,651	0.1527
26	6,657	0.1528
27	6,624	0.1521
28	6,675	0.1532
29	6,727	0.1544
30	6,649	0.1526
31	5,950	0.1366
32	5,950	0.1366
33	5,950	0.1366
34	5,950	0.1366
35	6,076	0.1395
36	6,504	0.1493
94	6,533	0.1500
95	6,951	0.1596
96	8,304	0.1906
97	9,657	0.2217
98	10,681	0.2452
99	7,462	0.1713
100	5,876	0.1349
101	8,337	0.1914
102	5,700	0.1309
103	5,700	0.1309
104	5,767	0.1324

LINE TABLE

LINE	BEARING	DISTANCE
L1	S30°35'41"W	17.49'
L2	S55°56'45"E	45.40'
L3	S61°57'02"E	60.19'
L4	S30°57'52"E	17.59'
L5	N61°57'02"W	20.00'

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	225.57'	300.00'	43°04'47"	118.41'
C2	149.65'	300.00'	28°34'51"	76.42'
C3	75.92'	300.00'	14°29'56"	38.16'
C4	59.23'	279.00'	12°09'51"	29.73'
C5	92.37'	321.00'	16°29'14"	46.51'
C6	11.78'	321.00'	2°06'09"	5.89'
C7	47.23'	321.00'	8°25'46"	23.66'
C8	33.37'	321.00'	5°57'19"	16.70'
C9	130.22'	1221.00'	6°06'38"	65.17'
C10	38.35'	25.00'	87°53'03"	24.09'
C11	21.00'	25.00'	48°07'30"	11.16'
C12	17.35'	25.00'	39°45'33"	9.04'
C13	38.35'	25.00'	87°53'03"	24.09'
C14	17.30'	25.00'	39°39'20"	9.01'
C15	21.04'	25.00'	48°13'43"	11.19'
C16	82.87'	1221.00'	3°53'20"	41.45'
C17	71.15'	1221.00'	3°20'20"	35.59'
C18	11.72'	1221.00'	0°33'00"	5.86'
C19	292.84'	1179.00'	14°13'51"	147.18'
C20	20.49'	1179.00'	0°59'45"	10.25'
C21	57.88'	1179.00'	2°48'46"	28.94'
C22	57.88'	1179.00'	2°48'46"	28.94'
C23	57.88'	1179.00'	2°48'46"	28.94'
C24	57.88'	1179.00'	2°48'46"	28.94'
C25	40.83'	1179.00'	1°59'04"	20.42'
C26	77.50'	129.00'	34°25'23"	39.96'
C27	102.74'	171.00'	34°25'23"	52.97'
C28	25.52'	171.00'	8°33'05"	12.78'
C29	44.82'	171.00'	15°01'02"	22.54'
C30	32.39'	171.00'	10°51'15"	16.25'
C31	306.78'	500.00'	35°09'16"	158.39'
C32	245.28'	479.00'	29°20'21"	125.39'
C33	319.66'	521.00'	35°09'16"	165.04'
C34	34.75'	479.00'	4°09'24"	17.38'
C35	13.56'	521.00'	1°29'30"	6.78'
C36	48.20'	521.00'	5°18'02"	24.12'

BAXTER DESIGN GROUP
 7500 N. Dobson Rd., Suite 200
 Scottsdale, AZ 85256
 (480) 818-6001

DATE: DECEMBER 6, 2017
 DESIGNED BY: BDG
 DRAWN BY: SJS
 REVIEWED BY: JWW
 PROJECT: _____
 ISSUE: FINAL PLAT



REVISIONS:

FRANKLIN 643, LLC
ANTHEM AT MERRILL RANCH
FINAL PLAT
UNIT 43
 SITUATED WITHIN THE WEST 1/4 OF SEC 24,
 TOWNSHIP 4 SOUTH, RANGE 8 EAST
 OF THE G&SRM, TOF, PINAL CO., AZ

UNIT 43
LAYOUT
SHEET 3 OF 6

VERSION 2

RECORDER

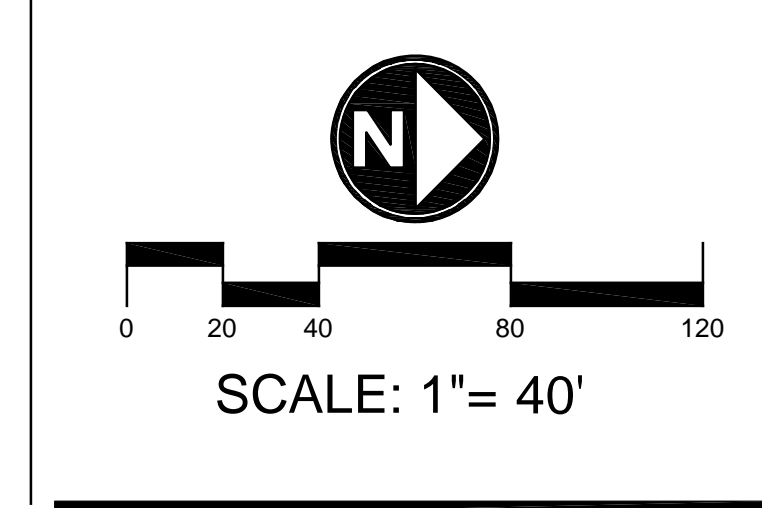
STATE OF ARIZONA }
 COUNTY OF PINAL } SS

I hereby certify that the within instrument is filed in the official records of this County as Fee No. _____

Date: _____

Request of: _____

Witness my hand and official seal.
 Virginia Ross Pinal County Recorder
 By: _____ Deputy



SYMBOL LEGEND

- SECTION CORNER, GLO BRASS CAP, UNLESS NOTED OTHERWISE
 - QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
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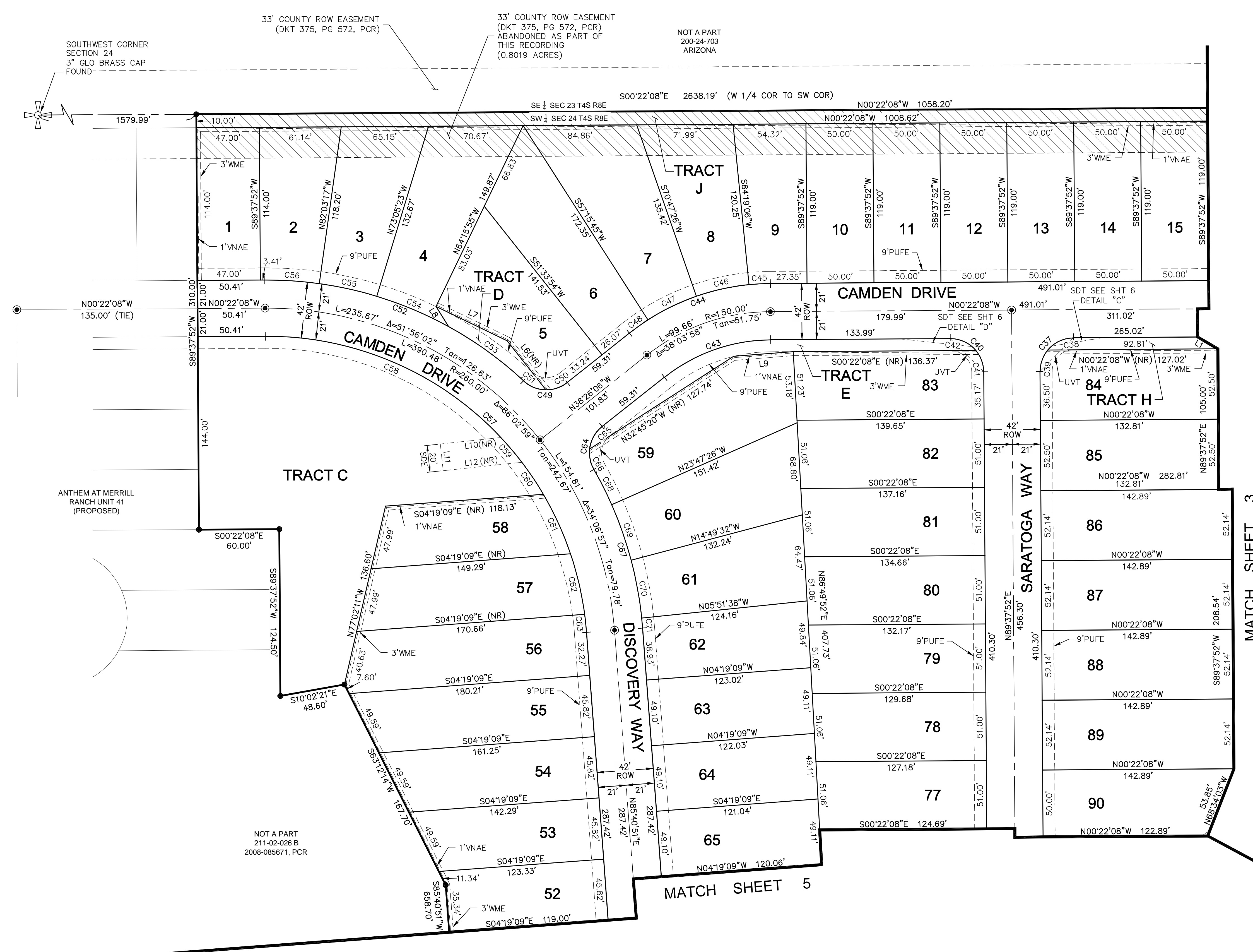
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- WME WALL MAINTENANCE EASEMENT

LOT TABLE		
LOT NO.	SQ. FT.	ACRES
1	5,358	0.1230
2	6,061	0.1391
3	6,689	0.1536
4	7,943	0.1823
5	7,174	0.1647
6	7,942	0.1823
7	8,853	0.2032
8	6,986	0.1604
9	5,810	0.1334
10	5,950	0.1366
11	5,950	0.1366
12	5,950	0.1366
13	5,950	0.1366
14	5,950	0.1366
15	5,950	0.1366
52	5,475	0.1257
53	6,085	0.1397
54	6,954	0.1596
55	7,823	0.1796
56	8,144	0.1870
57	7,365	0.1691
58	6,167	0.1416
59	8,935	0.2051
60	7,746	0.1778
61	8,868	0.1577
62	5,948	0.1365
63	6,015	0.1381
64	5,967	0.1370
65	5,919	0.1359
77	6,423	0.1474
78	6,550	0.1504
79	6,677	0.1533
80	6,804	0.1562
81	6,931	0.1591
82	7,059	0.1620
83	7,181	0.1649
84	6,943	0.1594
85	6,972	0.1601
86	7,450	0.1710
87	7,450	0.1710
88	7,450	0.1710
89	7,450	0.1710
90	6,644	0.1525

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S30°35'41"W	17.49'
L6	S51°33'54"W	46.67'
L7	S25°44'05"W	58.94'
L8	S57°48'38"W	17.70'
L9	N04°32'40"W	44.72'
L10	S06°08'13"E	45.46'
L11	S83°51'47"W	20.00'
L12	S06°08'13"E	59.00'

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	TANGENT
C37	39.27'	25.00'	90°00'00"	25.00'
C38	21.91'	25.00'	50°12'29"	11.71'
C39	17.36'	25.00'	39°47'31"	9.05'
C40	39.27'	25.00'	90°00'00"	25.00'
C41	17.36'	25.00'	39°47'31"	9.05'
C42	21.91'	25.00'	50°12'29"	11.71'
C43	85.70'	129.00'	38°03'58"	44.50'
C44	113.61'	171.00'	38°03'58"	58.99'
C45	15.86'	171.00'	5°18'46"	7.93'
C46	40.37'	171.00'	13°31'41"	20.28'
C47	40.37'	171.00'	13°31'41"	20.28'
C48	17.00'	171.00'	5°41'51"	8.51'
C49	35.50'	25.00'	81°21'15"	21.49'
C50	17.13'	25.00'	39°15'06"	8.91'
C51	18.37'	25.00'	42°06'09"	9.62'
C52	212.30'	281.00'	43°17'17"	111.51'
C53	69.27'	281.00'	14°07'28"	34.81'
C54	58.29'	281.00'	11°53'04"	29.25'
C55	43.97'	281.00'	8°57'54"	22.03'
C56	40.78'	281.00'	8°18'51"	20.42'
C57	358.94'	239.00'	86°02'59"	223.07'
C58	197.04'	239.00'	47°14'15"	104.51'
C59	24.16'	239.00'	5°47'33"	12.09'
C60	28.81'	239.00'	6°54'26"	14.42'
C61	48.92'	239.00'	11°43'42"	24.55'
C62	46.44'	239.00'	11°08'00"	23.29'
C63	13.56'	239.00'	3°15'03"	6.78'
C64	35.50'	25.00'	81°21'15"	21.49'
C65	19.64'	25.00'	45°00'56"	10.36'
C66	15.86'	25.00'	36°20'19"	8.20'
C67	124.91'	281.00'	25°28'12"	63.51'
C68	29.42'	281.00'	5°59'55"	14.72'
C69	43.97'	281.00'	8°57'54"	22.03'
C70	43.97'	281.00'	8°57'54"	22.03'
C71	7.56'	281.00'	1°32'29"	3.78'



SOUTHWEST CORNER SECTION 24
 3" GLO BRASS CAP FOUND

33' COUNTY ROW EASEMENT
 (DKT 375, PG 572, PCR)

33' COUNTY ROW EASEMENT
 (DKT 375, PG 572, PCR)
 ABANDONED AS PART OF
 THIS RECORDING
 (0.8019 ACRES)

NOT A PART
 200-24-703
 ARIZONA

ANTHEM AT MERRILL
 RANCH UNIT 41
 (PROPOSED)

NOT A PART
 211-02-026 B
 2008-085671, PCR

BAXTER DESIGN GROUP
 7500 N. Dobson Rd., Suite 200
 Scottsdale, AZ 85256
 (480) 818-6001

DATE: DECEMBER 6, 2017
 DESIGNED BY: BDG
 DRAWN BY: SJS
 REVIEWED BY: JWW
 PROJECT: FINAL PLAT

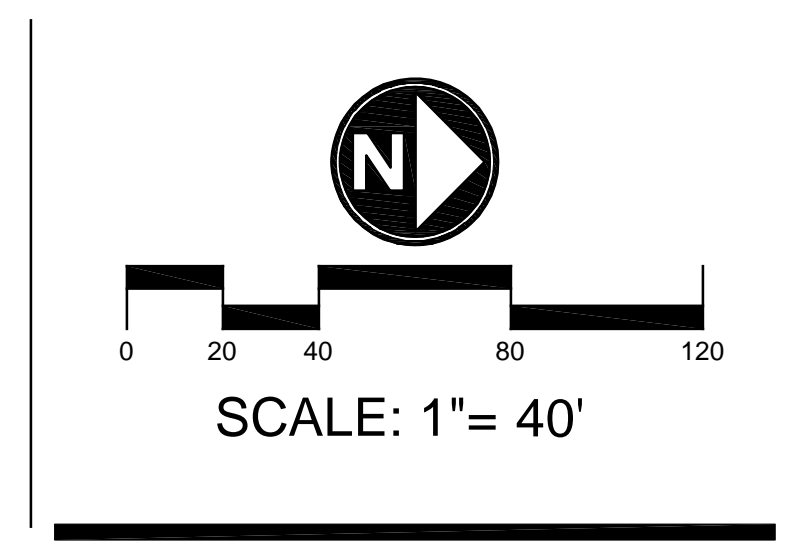
REGISTERED LAND SURVEYOR
 CERTIFICATE NO. 436
 436
 ARIZONA
 Expires 09/30/2020

FRANKLIN 643, LLC
ANTHEM AT MERRILL RANCH
FINAL PLAT
UNIT 43

SITUATED WITHIN THE WEST 1/4 OF SEC 24,
 TOWNSHIP 4 SOUTH, RANGE 8 EAST
 OF THE G&SRM, TOF, PINAL CO., AZ

UNIT 43
LAYOUT
SHEET 4 OF 6

VERSION 2



RECORDER

STATE OF ARIZONA }
 COUNTY OF PINAL } SS

I hereby certify that the within instrument is filed in the official records of this County as Fee No. _____

Date: _____

Request of: _____

Witness my hand and official seal.
 Virginia Ross Pinal County Recorder
 By: _____ Deputy

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LINE LEGEND

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LOT TABLE

LOT NO.	SQ. FT.	ACRES
37	6,512	0.1495
38	6,447	0.1480
39	6,417	0.1473
40	6,423	0.1475
41	6,408	0.1471
42	6,545	0.1503
43	6,545	0.1503
44	6,545	0.1503
45	6,545	0.1503
46	6,545	0.1503
47	7,634	0.1753
48	7,053	0.1619
49	6,331	0.1453
50	5,739	0.1318
51	5,453	0.1252
66	5,880	0.1350
67	5,898	0.1354
68	6,728	0.1545
69	6,290	0.1444
70	5,593	0.1284
71	5,564	0.1277
72	6,040	0.1387
73	6,702	0.1539
74	7,079	0.1625
75	6,893	0.1583
76	6,182	0.1419
91	6,144	0.1411
92	8,658	0.1988
93	6,849	0.1572

LINE TABLE

LINE	BEARING	DISTANCE
L13	N43°16'22\"/>	
L14	N54°03'24\"/>	
L15	S26°47'46\"/>	
L16	N63°12'14\"/>	
L17	S26°47'46\"/>	
L18	N38°15'32\"/>	
L19	N51°44'28\"/>	
L20	N38°15'32\"/>	
L21	S56°47'46\"/>	
L22	S33°12'14\"/>	
L23	S56°47'46\"/>	

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C32	245.28'	479.00'	29°20'21\"/>	125.39'
C33	319.66'	521.00'	35°09'16\"/>	165.04'
C72	20.04'	521.00'	2°12'13\"/>	10.02'
C73	48.22'	521.00'	5°18'09\"/>	24.13'
C74	48.22'	521.00'	5°18'09\"/>	24.13'
C75	48.22'	521.00'	5°18'09\"/>	24.13'
C76	48.22'	521.00'	5°18'09\"/>	24.13'
C77	45.00'	521.00'	4°56'55\"/>	22.51'
C78	210.53'	479.00'	25°10'57\"/>	106.99'
C79	41.81'	25.00'	95°48'55\"/>	27.68'
C80	40.70'	25.00'	93°16'50\"/>	26.47'
C81	1.11'	25.00'	2°32'05\"/>	0.55'
C82	39.27'	25.00'	90°00'00\"/>	25.00'
C83	21.91'	25.00'	50°12'29\"/>	11.71'
C84	17.36'	25.00'	39°47'31\"/>	9.05'
C85	87.17'	189.00'	26°25'38\"/>	44.38'
C86	3.86'	189.00'	1°10'17\"/>	1.93'
C87	83.31'	189.00'	25°15'21\"/>	42.34'
C88	106.55'	231.00'	26°25'38\"/>	54.24'
C89	29.18'	231.00'	7°14'20\"/>	14.61'
C90	47.03'	231.00'	11°39'54\"/>	23.60'
C91	30.33'	231.00'	7°31'24\"/>	15.19'
C92	39.27'	25.00'	90°00'00\"/>	25.00'
C93	21.91'	25.00'	50°12'29\"/>	11.71'
C94	17.36'	25.00'	39°47'31\"/>	9.05'
C95	39.27'	25.00'	90°00'00\"/>	25.00'
C96	109.45'	279.00'	22°28'37\"/>	55.44'
C97	43.12'	279.00'	8°51'16\"/>	21.60'
C98	66.33'	279.00'	13°37'21\"/>	33.32'
C99	125.93'	321.00'	22°28'37\"/>	63.78'
C100	18.66'	321.00'	3°19'51\"/>	9.33'
C101	43.26'	321.00'	7°43'17\"/>	21.66'
C102	43.26'	321.00'	7°43'17\"/>	21.66'
C103	20.75'	321.00'	3°42'12\"/>	10.38'
C104	195.04'	165.50'	67°31'23\"/>	110.63'
C105	159.10'	135.00'	67°31'23\"/>	90.24'
C106	48.77'	135.00'	20°41'49\"/>	24.65'
C107	20.02'	135.00'	8°29'46\"/>	10.03'
C108	90.31'	135.00'	38°19'48\"/>	46.92'
C109	54.98'	35.00'	90°00'00\"/>	35.00'
C110	54.98'	35.00'	89°59'59\"/>	35.00'
C111	20.98'	35.00'	34°20'20\"/>	10.81'
C112	34.00'	35.00'	55°39'39\"/>	18.48'



NOT A PART
 211-02-001 R
 2007-022748, PCR

BAXTER DESIGN GROUP
 7500 N. Dobson Rd., Suite 200
 Scottsdale, AZ 85256
 (480) 818-6001

DATE: DECEMBER 6, 2017

DESIGNED BY: BDG

DRAWN BY: SJS

REVIEWED BY: JWW

PROJECT: ANTHEM AT MERRILL RANCH UNIT 43

ISSUE: FINAL PLAT



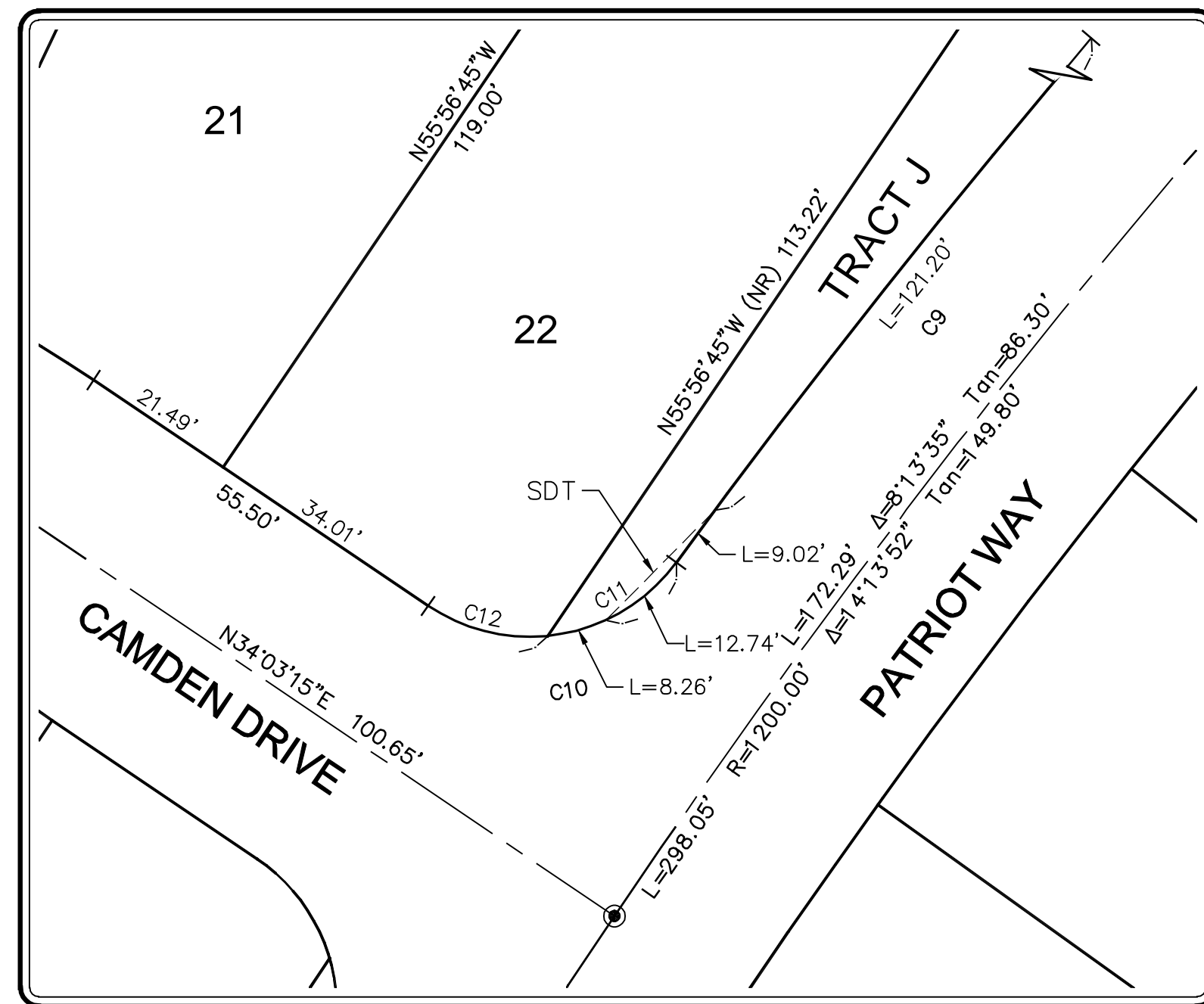
REVISIONS:

FRANKLIN 643, LLC
ANTHEM AT MERRILL RANCH
FINAL PLAT
UNIT 43

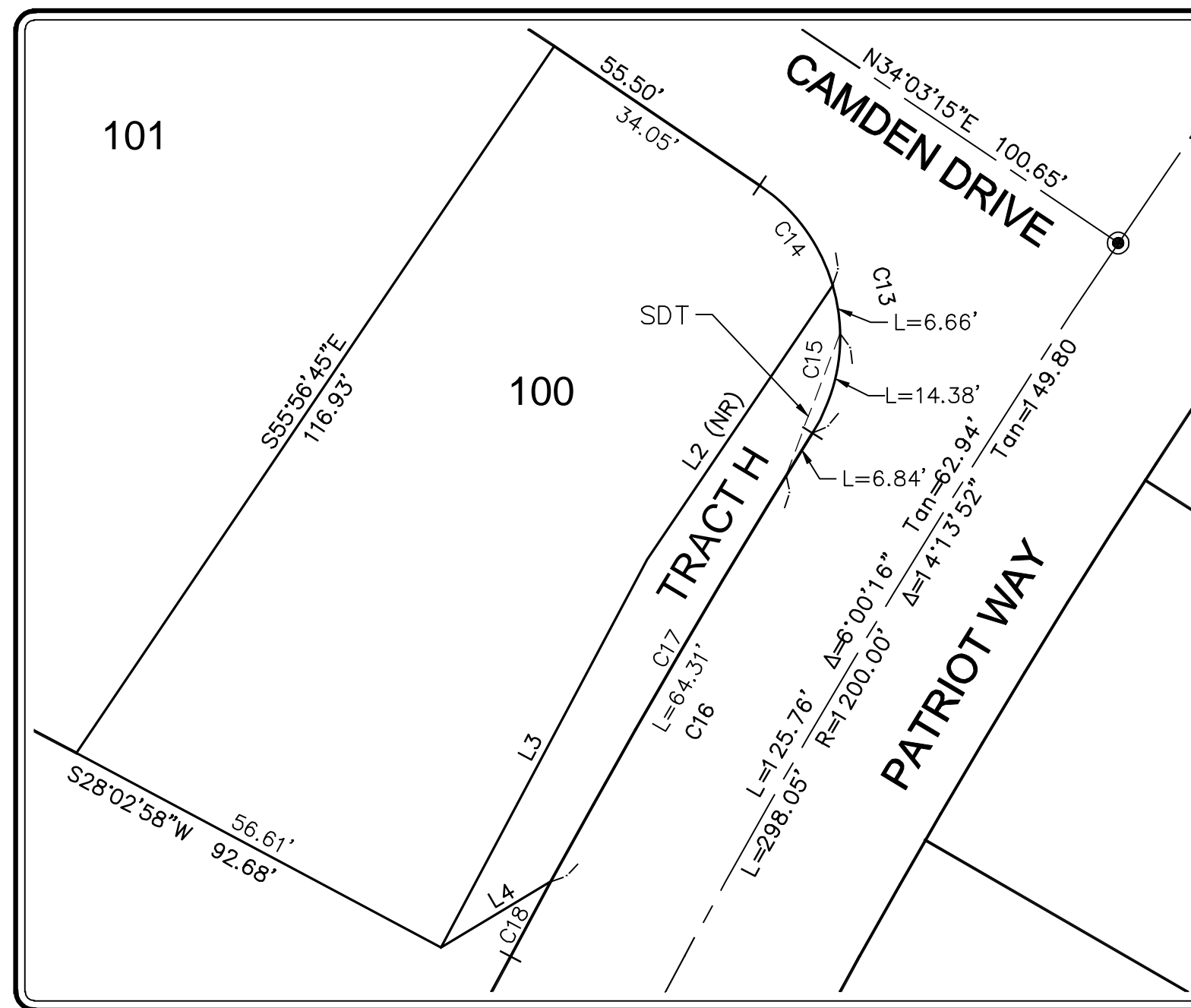
SITUATED WITHIN THE WEST 1/4 OF SEC 24,
 TOWNSHIP 4 SOUTH, RANGE 8 EAST
 OF THE G&SRM, TOF, PINAL CO., AZ

UNIT 43
LAYOUT
SHEET 5 OF 6

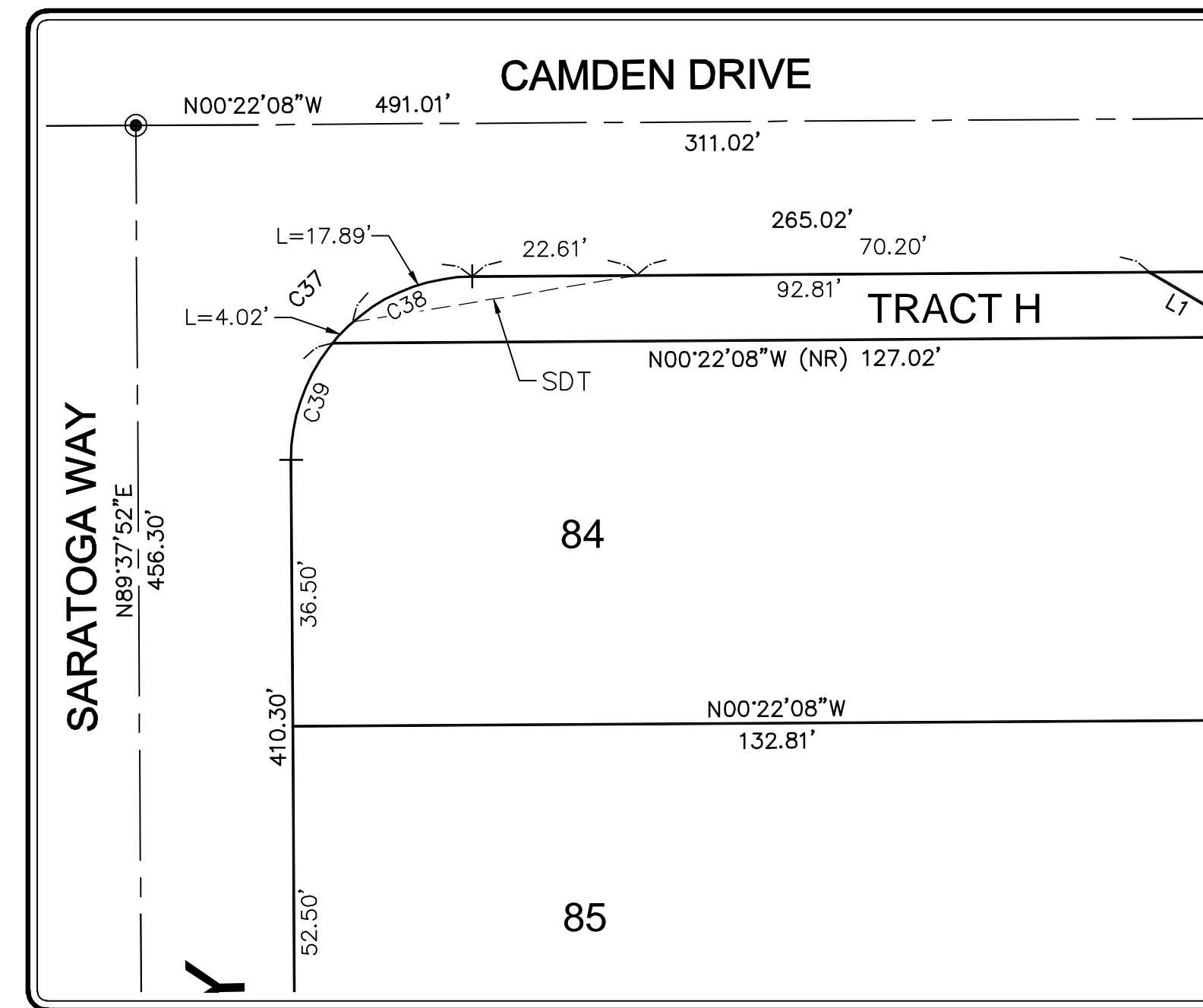
VERSION 2



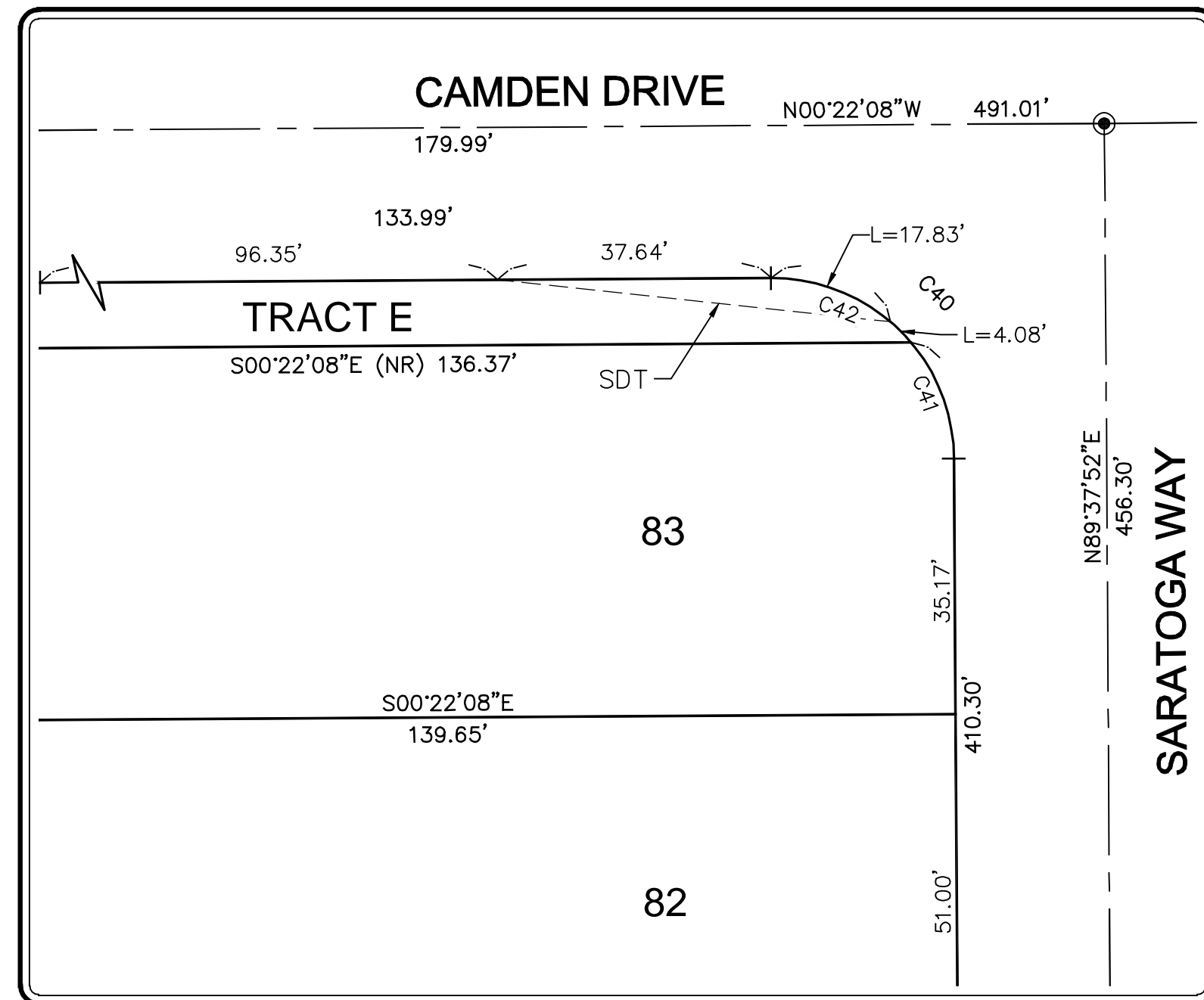
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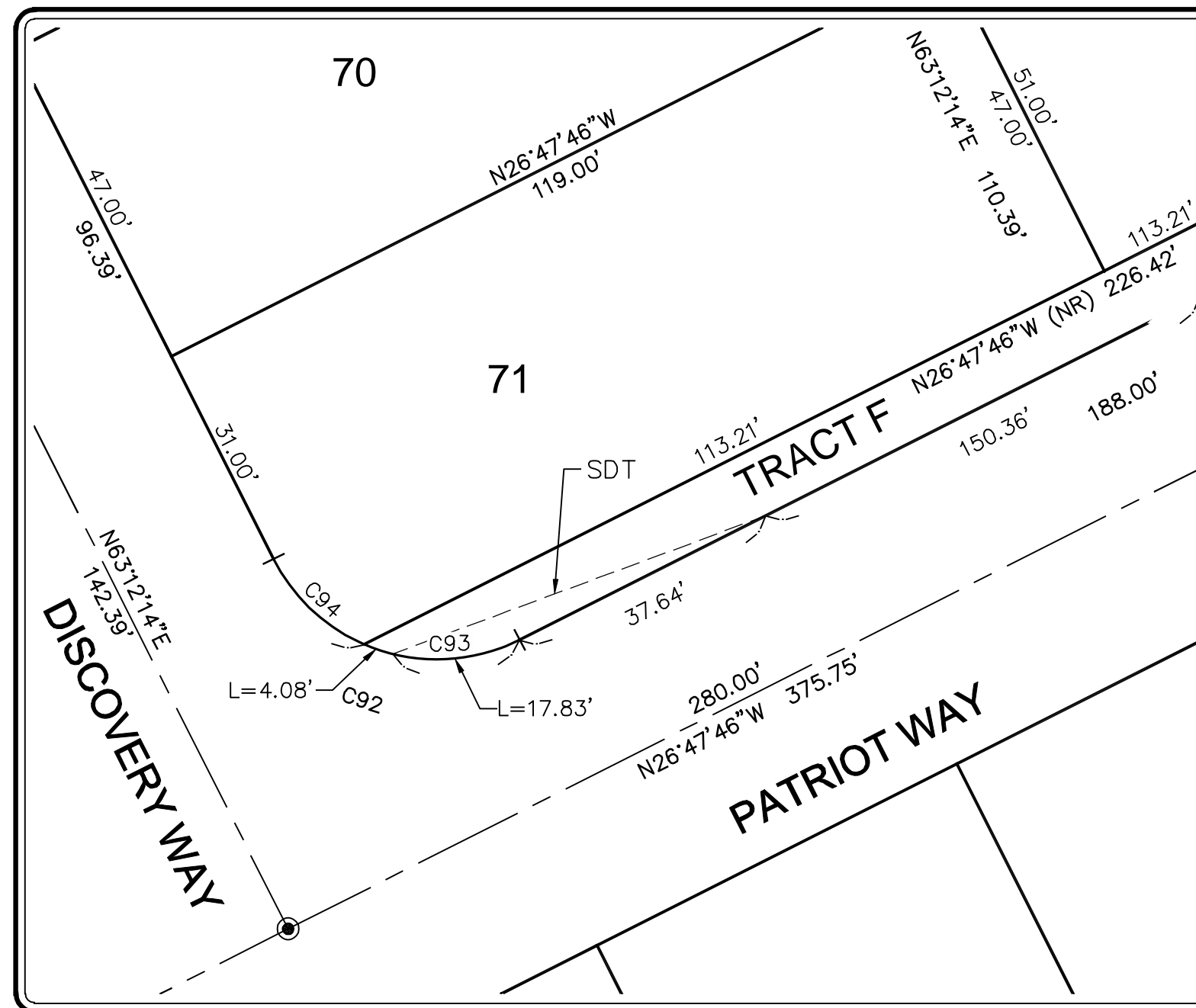
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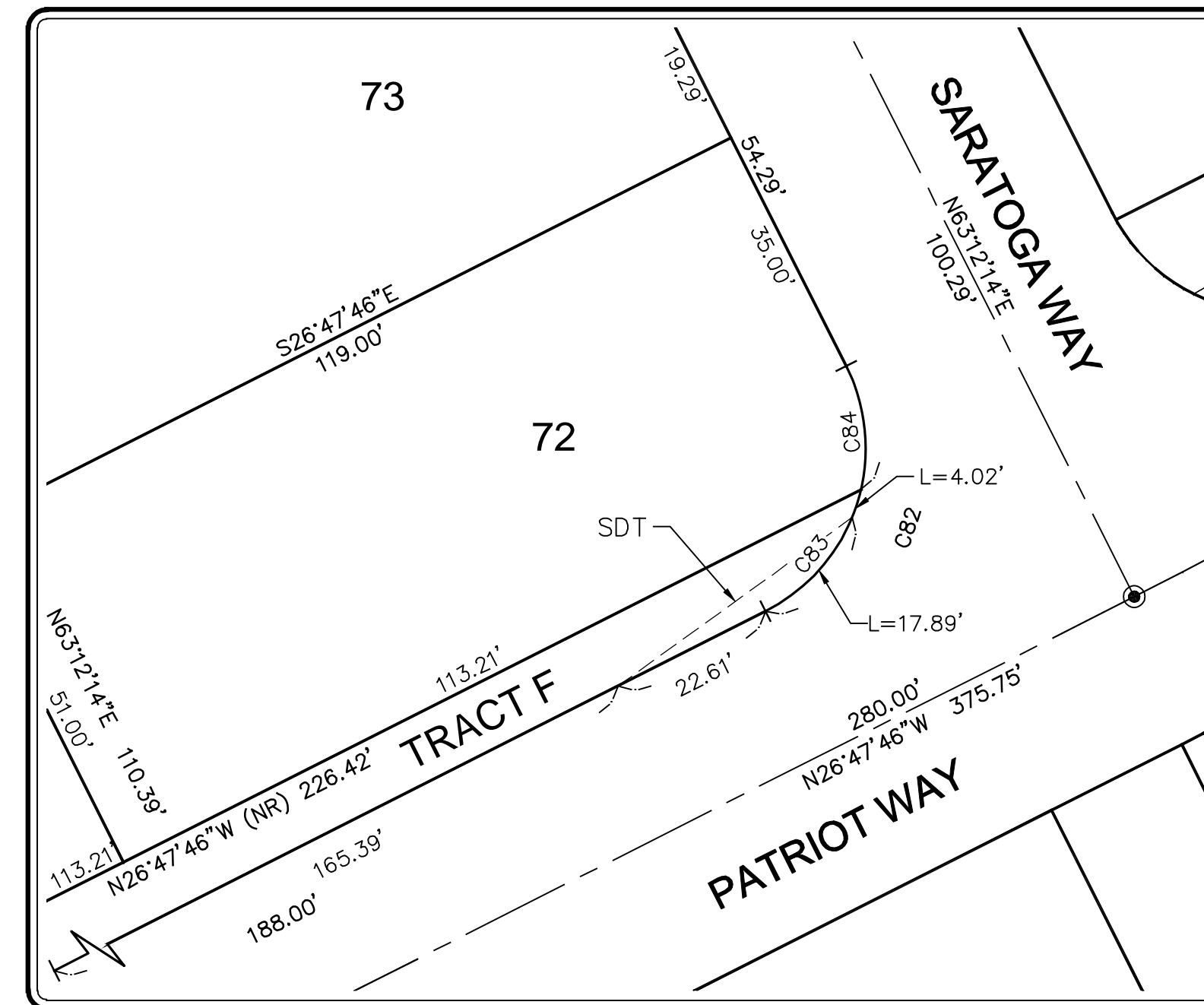
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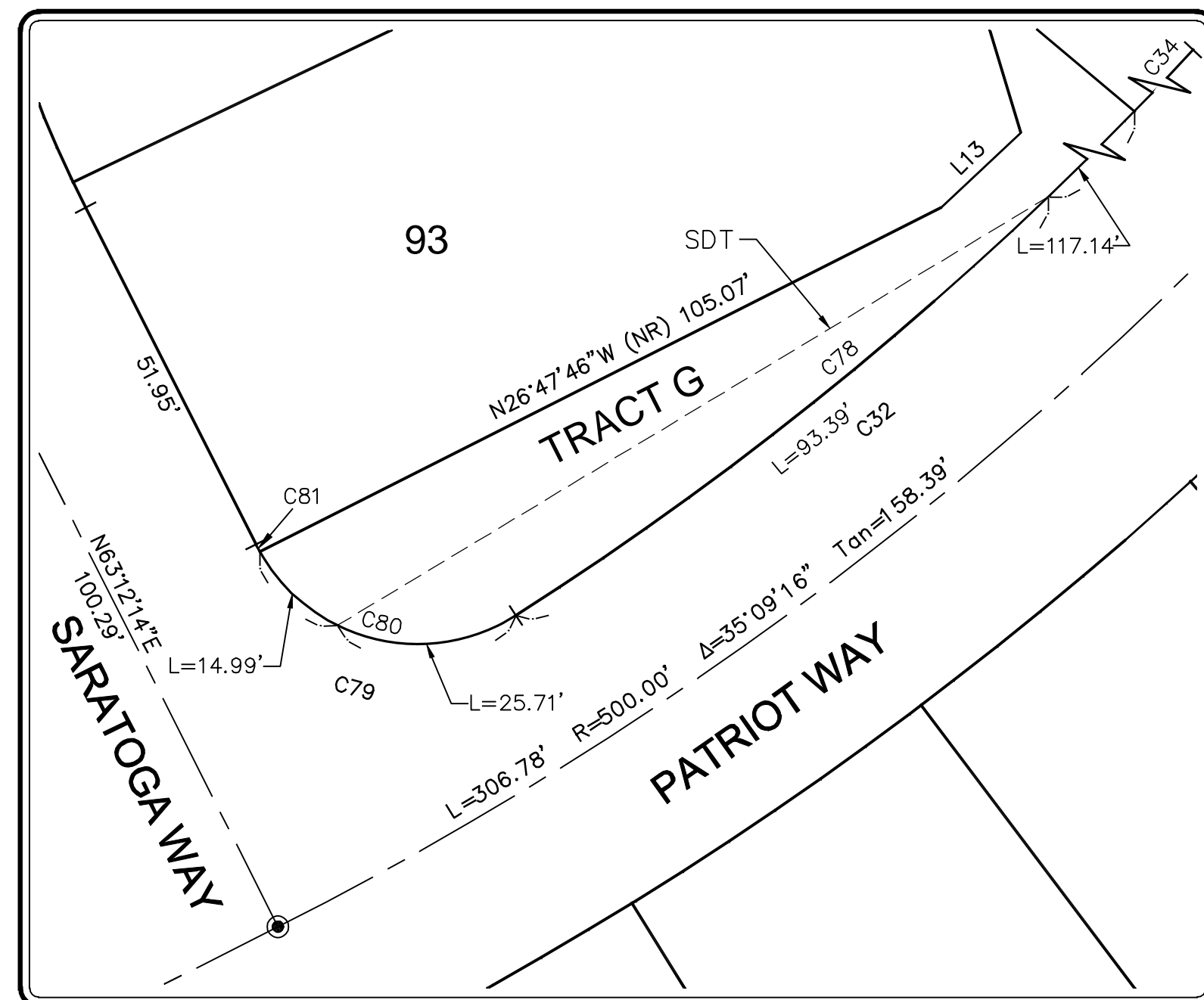
DETAIL "D"
SCALE: 1"=20'



DETAIL "E"
SCALE: 1"=20'



DETAIL "F"
SCALE: 1"=20'



DETAIL "G"
SCALE: 1"=20'

RECORDER
STATE OF ARIZONA }
COUNTY OF PINAL } SS
I hereby certify that the within instrument is filed in the official records of this County as Fee No. _____
Date: _____
Request of: _____
Witness my hand and official seal.
Virginia Ross Pinal County Recorder
By: _____ Deputy

- SYMBOL LEGEND**
- SECTION CORNER, GLO BRASS CAP, UNLESS NOTED OTHERWISE
 - QUARTER CORNER, GLO BRASS CAP, (UNLESS NOTED OTHERWISE)
 - CENTERLINE MONUMENT (BRASS CAP, OR AS NOTED)
 - 1/2" REBAR & CAP, RLS 21065, SET (UNLESS NOTED OTHERWISE)
- LINE LEGEND**
- BREAK LINE
 - CENTERLINE OF ROADWAY
 - EASEMENT LINE
 - PLAT BOUNDARY
 - PROPERTY LINE
 - ROW
 - SECTION LINE
 - TERMINAL POINT ON ROW INDICATES THAT PORTION OF THE 33' COUNTY ROW EASEMENT TO BE ABANDONED AS PART OF THIS RECORDING.

- ABBREVIATIONS**
- (AC) ACRE
 - ALU ALUMINUM CAP
 - BRU BRASS CAP
 - BOOK BOOK
 - (BOB) BASIS OF BEARING
 - CMU CONCRETE MASONRY UNIT
 - DKT DOCKET
 - FND FOUND MONUMENT
 - GLO GENERAL LAND OFFICE
 - LE LANDSCAPE EASEMENT
 - LS##### LAND SURVEYORS REGISTRATION No.
 - (M) MEASURED
 - MOL MORE OR LESS
 - NO ID NO IDENTIFICATION, (NO LS No.)
 - INDICATES LINE IS NOT
 - (NR) RADIAL TO CURVE
 - NTS NOT TO SCALE
 - PCR PINAL COUNTY RECORDER
 - PAGE PAGE
 - POB POINT OF BEGINNING
 - PUFE PUBLIC UTILITY FACILITY EASEMENT/ DRAINAGE EASEMENT
 - (R) RECORD
 - R # E RANGE LINE No. EAST
 - (RB) RADIAL BEARING
 - ROW RIGHT OF WAY
 - SEC # SECTION No.
 - SDE STORM DRAIN EASEMENT
 - SLD SLIDE
 - SE SANITARY SEWER EASEMENT
 - SDT SIGHT DISTANCE TRIANGLE
 - T # S TOWNSHIP LINE No. SOUTH
 - TOF TOWN OF FLORENCE
 - UVT UNOBSTRUCTED VIEW TRIANGLE
 - VNAE VEHICULAR NON-ACCESS EASEMENT
 - WME WALL MAINTENANCE EASEMENT

BAXTER DESIGN GROUP
7500 N. Dobson Rd., Suite 200
Scottsdale, AZ 85256
(480) 818-6001

DATE:	DECEMBER 6, 2017
DESIGNED BY:	BDG
DRAWN BY:	STS
REVIEWED BY:	JWW
PROJECT:	
ISSUE:	FINAL PLAT



REVISIONS:

FRANKLIN 643, LLC
ANTHEM AT MERRILL RANCH
FINAL PLAT
UNIT 43
SITUATED WITHIN THE WEST 1/2 OF SEC 24,
TOWNSHIP 4 SOUTH, RANGE 8 EAST
OF THE G&SRM, TOF, PINAL CO., AZ

UNIT 43
SDT DETAILS
SHEET 6 OF 6

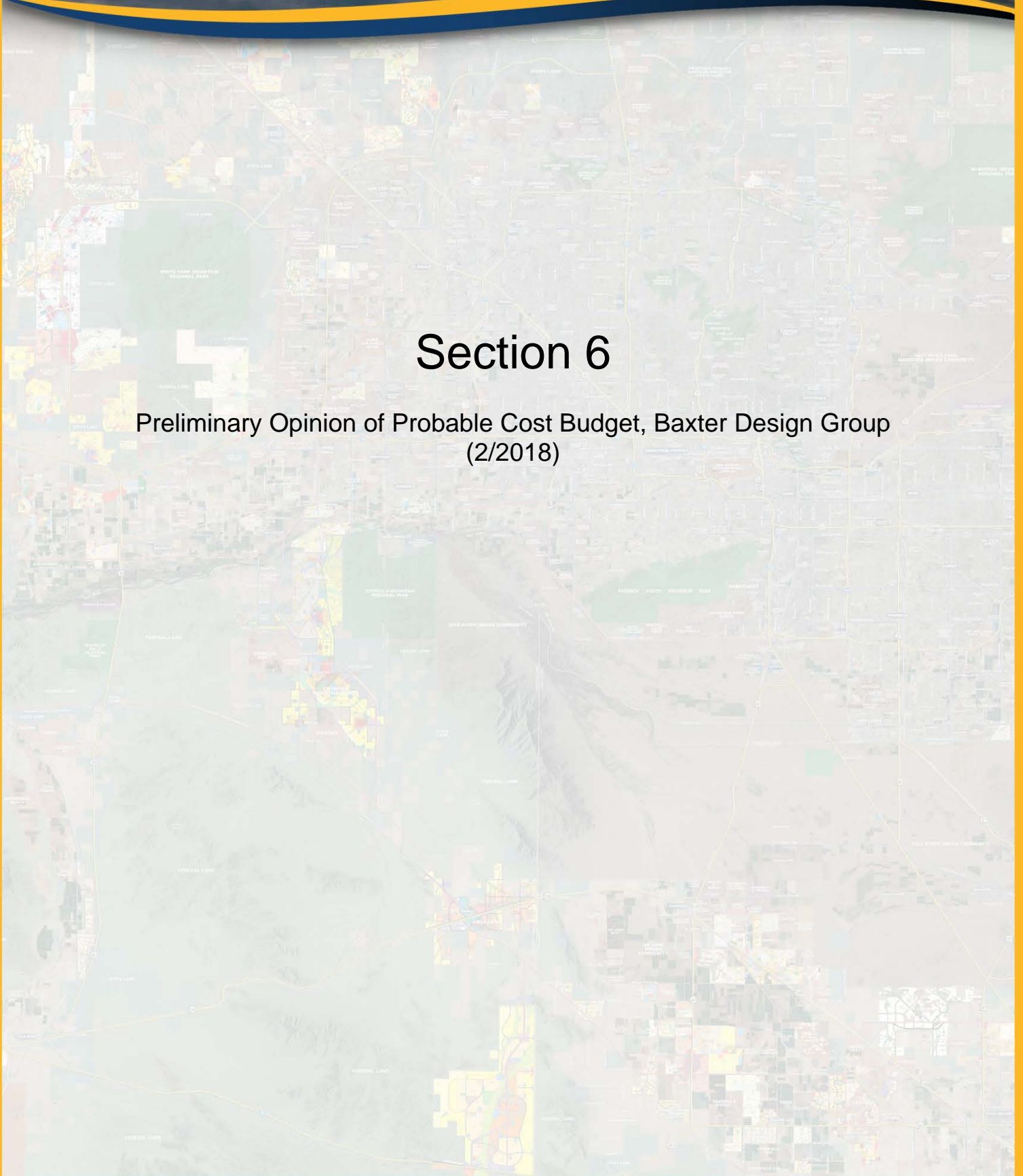
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file name: 055 UNIT 43 FP G&S | plot date: January 08, 2018 | plotted by: scs/ldc

VERSION 2



Section 6

Preliminary Opinion of Probable Cost Budget, Baxter Design Group
(2/2018)





Franklin 643, LLC - Anthem at Merrill Ranch - Unit 41
PRELIMINARY OPINION OF PROBABLE COST
February 2018

No.	Description	Quantity	Unit	Unit Cost (\$)	Total Cost (\$)	Assumptions
ROADWAY (Mass Grading)						
1	Excavation	16,550	C.Y.	\$2.25	\$37,238	
2	Embankment	9,895	C.Y.	\$1.75	\$17,316	
3	Clearing	16	Acre	\$250.00	\$4,000	
4	Finishing	64,000	S.Y.	\$0.75	\$48,000	
5	Pond / Prewet	16	Acre	\$900.00	\$14,400	
6	Construction Water	1	L.S.	\$30,000.00	\$30,000	
7	Mobilization	1	L.S.	\$10,000.00	\$10,000	
	SUBTOTAL				\$160,954	
ROADWAY (Paving & Concrete)						
1	Asphalt Pavement Section No. 2	7,187	S.Y.	\$17.50	\$125,773	<i>2-1/2" A.C. on 7" A.B.C.</i>
2	Survey Marker (Type B)	13	EA.	\$155.00	\$2,015	
3	4" Integral Roll Curb, Gutter & Sidewalk (5')	3,594	L.F.	\$11.00	\$39,534	
4	5' Curb & Gutter Transition	18	EA.	\$100.00	\$1,800	
5	Conc. Sidewalk Ramp (Type A)	0	EA.	\$1,000.00	\$0	
6	Conc. Sidewalk Ramp (2031-B)	4	EA.	\$900.00	\$3,600	
7	Conc. Sidewalk Ramp (C-243)	0	EA.	\$800.00	\$0	
8	Conc. Valley Gutter/Apron (6' Wide)	0	S.F.	\$8.50	\$0	
9	Adjust Valve Box or Cleanout	9	EA.	\$425.00	\$3,825	
10	Adjust Manhole Cover	9	EA.	\$450.00	\$4,050	
11	Barricade on Type 'B' Base	2	EA.	\$1,800.00	\$3,600	
12	Signing & Striping	1	L.S.	\$7,500.00	\$7,500	
13	Mobilization	2	L.S.	\$5,000.00	\$10,000	
	SUBTOTAL				\$201,697	
ROADWAY (Storm Drainage)						
1	Concrete Curb Opening Catch Basin	2	EA.	\$3,500.00	\$7,000	
2	Concrete Curb Opening-Scupper	2	EA.	\$5,500.00	\$11,000	
3	5' Dia. Manhole w/Frame & Cover	0	EA.	\$2,750.00	\$0	
4	18" RGRCP Storm Drain	130	L.F.	\$52.00	\$6,760	
5	24" RGRCP Storm Drain	25	L.F.	\$68.00	\$1,700	
6	Concrete Headwall	2	E.A.	\$2,900.00	\$5,800	<i>Safety Barrier/Trash Rack</i>
7	Rip-Rap D50=6"	21	C.Y.	\$230.00	\$4,830	<i>Dump</i>
8	Box Culvert Crossing - (2) 4' x 8'	224	L.F.	\$175.00	\$39,200	<i>Including headwalls</i>
9	Mobilization	1	L.S.	\$5,000.00	\$5,000	
	SUBTOTAL				\$81,290	



Franklin 643, LLC - Anthem at Merrill Ranch - Unit 41
PRELIMINARY OPINION OF PROBABLE COST
February 2018

No.	Description	Quantity	Unit	Unit Cost (\$)	Total Cost (\$)	Assumptions
ROADWAY (Sanitary Sewer)						
1	8" SDR35 PVC Sewer Pipe	1,967	L.F.	\$24.00	\$47,208	
2	4' Dia. Manhole w/Frame & Cover	3	EA.	\$2,800.00	\$8,400	
3	5' Dia. Manhole w/Frame & Cover	8	EA.	\$3,300.00	\$26,400	
4	4" Service Connection	55	EA.	\$700.00	\$38,500	
5	8" Plug w/Cleanout	1	EA.	\$500.00	\$500	
6	Testing -Video-Hydrovac	1	L.S.	\$15,000.00	\$15,000	
7	Mobilization	1	L.S.	\$5,000.00	\$5,000	
	SUBTOTAL				\$141,008	
ROADWAY (Potable Water)						
1	8" PVC (C900, DR18) Waterline	1,553	L.F.	\$21.00	\$32,613	<i>Includes Fittings & Bends</i>
2	8" DIP Waterline	398	L.F.	\$26.00	\$10,348	<i>Includes Fittings & Bends</i>
3	Vertical Realignment	3	E.A.	\$2,500.00	\$7,500	<i>Includes Fittings & Bends</i>
4	8" Gate Valve w/Box & Cover	4	EA.	\$1,200.00	\$4,800	
5	Fire Hydrant Assembly (Complete)	5	EA.	\$3,200.00	\$16,000	
6	Cap w/Flushing Pipe	1	EA.	\$900.00	\$900	
7	1.5" Landscape Meter	3	EA.	\$1,250.00	\$3,750	<i>Landscape Meters</i>
8	3/4" Single Service	7	EA.	\$650.00	\$4,550	
9	1" Double Water Service	24	EA.	\$900.00	\$21,600	
11	Tapping Sleeve Connect to Existing	1	E.A.	\$2,000.00	\$2,000	
12	Mobilization	1	L.S.	\$5,000.00	\$5,000	
	SUBTOTAL				\$109,061	
Dry Utilities / Landscaping						
1	Dry Utilities	55	Lots	\$1,250.00	\$68,750	
2	Landscaping	250,000	S.F.	\$1.25	\$312,500	
3	Entry Feature / Theme Walls	1	L.S.	\$90,000.00	\$90,000	
	SUBTOTAL				\$471,250	



Franklin 643, LLC - Anthem at Merrill Ranch - Unit 41
PRELIMINARY OPINION OF PROBABLE COST
February 2018

No.	Description	Quantity	Unit	Unit Cost (\$)	Total Cost (\$)	Assumptions
	Miscellaneous Costs					
1	Construction Staking	55	EA,	\$800.00	\$44,000	<i>Estimated</i>
2	Street Lights	12	EA.	\$2,500.00	\$30,250	<i>Estimated Quantity</i>
3	Mobilization	1	L.S.	\$5,000.00	\$5,000	
	SUBTOTAL				\$79,250	
	SUBTOTAL				\$1,244,509	
1	Contingency	1	L.S.	15.00%	\$186,676	
	GRAND TOTAL				\$1,431,186	

- 1 The Baxter Design Group is not a construction cost estimator or construction contractor, nor should our rendering an opinion of probable costs be considered equivalent to the nature and extent of service that a construction cost estimator or construction contractor would provide. This opinion is based solely upon our own experience with construction, requiring us to make a number of assumptions as to actual conditions that will be encountered on site; the specific decisions of other design professionals engaged; the means and methods that contractors will employ; the cost and extent of labor, equipment and materials the contractor will employ; the contractor' techniques in determining prices and market conditions at the time; and other factors over which the design professional has no control. Given the assumptions which must be made. Baxter Design Group cannot and does not guarantee the accuracy of our opinions of cost.
- 2 This opinion of probable cost does not include governing agency permitting or processing fees, water costs, developer's fee, legal fees, land costs, associated taxes and other soft costs, sales and marketing costs, design, or financing fees.

This cost budget does not include the \$3,500 Per Lot CFD Reimbursement discussed in Section 1 totaling \$192,500.



Franklin 643, LLC - Anthem at Merrill Ranch - Unit 43
PRELIMINARY OPINION OF PROBABLE COST
February 2018

No.	Description	Quantity	Unit	Unit Cost (\$)	Total Cost (\$)	Assumptions
ROADWAY (Mass Grading)						
1	Excavation	29,414	C.Y.	\$2.25	\$66,182	
2	Embankment	26,515	C.Y.	\$1.75	\$46,401	
3	Clearing	30	Acre	\$250.00	\$7,500	
4	Finishing	125,500	S.Y.	\$0.75	\$94,125	
5	Pond / Prewet	30	Acre	\$900.00	\$27,000	
6	Construction Water	1	L.S.	\$35,000.00	\$35,000	
7	Mobilization	1	L.S.	\$10,000.00	\$10,000	
	SUBTOTAL				\$286,208	
ROADWAY (Paving & Concrete)						
1	Asphalt Pavement Section No. 2	13,180	S.Y.	\$17.50	\$230,650	<i>2-1/2" A.C. on 7" A.B.C.</i>
2	Survey Marker (Type B)	21	EA.	\$155.00	\$3,255	
3	4" Integral Roll Curb, Gutter & Sidewalk (5')	7,036	L.F.	\$11.00	\$77,396	
4	5' Curb & Gutter Transition	44	EA.	\$100.00	\$4,400	
5	Conc. Sidewalk Ramp (Type A)	0	EA.	\$1,000.00	\$0	
6	Conc. Sidewalk Ramp (2031-B)	10	EA.	\$900.00	\$9,000	
7	Conc. Sidewalk Ramp (C-243)	5	EA.	\$800.00	\$4,000	
8	Conc. Valley Gutter/Apron (6' Wide)	2,950	S.F.	\$8.50	\$25,075	
9	Adjust Valve Box or Cleanout	18	EA.	\$425.00	\$7,650	
10	Adjust Manhole Cover	27	EA.	\$450.00	\$12,150	
11	Barricade on Type 'B' Base	2	EA.	\$1,800.00	\$3,600	
12	Signing & Striping	1	L.S.	\$7,500.00	\$7,500	
13	Mobilization	3	L.S.	\$5,000.00	\$15,000	
	SUBTOTAL				\$399,676	
ROADWAY (Storm Drainage)						
1	Concrete Curb Opening Catch Basin	12	EA.	\$3,500.00	\$42,000	
2	Concrete Curb Opening-Scupper	0	EA.	\$5,500.00	\$0	
3	5' Dia. Manhole w/Frame & Cover	5	EA.	\$2,750.00	\$13,750	
4	18" RGRCP Storm Drain	710	L.F.	\$52.00	\$36,920	
5	24" RGRCP Storm Drain	318	L.F.	\$68.00	\$21,624	
6	Concrete Headwall	6	E.A.	\$2,900.00	\$17,400	<i>Safety Barrier/Trash Rack</i>
7	Rip-Rap D50=6"	14	C.Y.	\$230.00	\$3,220	<i>Dump</i>
8	Box Culvert Crossing - (2) 4' x 8'	0	L.F.	\$175.00	\$0	<i>Including headwalls</i>
	SUBTOTAL				\$134,914	



Franklin 643, LLC - Anthem at Merrill Ranch - Unit 43
PRELIMINARY OPINION OF PROBABLE COST
February 2018

No.	Description	Quantity	Unit	Unit Cost (\$)	Total Cost (\$)	Assumptions
ROADWAY (Sanitary Sewer)						
1	8" SDR35 PVC Sewer Pipe	4,154	L.F.	\$24.00	\$99,696	
2	4' Dia. Manhole w/Frame & Cover	9	EA.	\$2,800.00	\$25,200	
3	5' Dia. Manhole w/Frame & Cover	13	EA.	\$3,300.00	\$42,900	
4	4" Service Connection	104	EA.	\$700.00	\$72,800	
5	8" Plug w/Cleanout	1	EA.	\$500.00	\$500	
6	Testing -Video-Hydrovac	1	L.S.	\$20,000.00	\$20,000	
7	Mobilization	1	L.S.	\$5,000.00	\$5,000	
	SUBTOTAL				\$266,096	
ROADWAY (Potable Water)						
1	8" PVC (C900, DR18) Waterline	2,989	L.F.	\$21.00	\$62,769	<i>Includes Fittings & Bends</i>
2	8" DIP Waterline	1,173	L.F.	\$26.00	\$30,498	<i>Includes Fittings & Bends</i>
3	Vertical Realignment	8	E.A.	\$2,500.00	\$20,000	<i>Includes Fittings & Bends</i>
4	8" Gate Valve w/Box & Cover	10	EA.	\$1,200.00	\$12,000	
5	Fire Hydrant Assembly (Complete)	8	EA.	\$3,200.00	\$25,600	
6	Cap w/Flushing Pipe	2	EA.	\$900.00	\$1,800	
7	1.5" Landscape Meter	6	EA.	\$1,250.00	\$7,500	<i>Landscape Meters</i>
8	3/4" Single Service	8	EA.	\$650.00	\$5,200	
9	1" Double Water Service	48	EA.	\$900.00	\$43,200	
11	Tapping Sleeve Connect to Existing	1	E.A.	\$2,000.00	\$2,000	
12	Mobilization	1	L.S.	\$5,000.00	\$5,000	
	SUBTOTAL				\$215,567	
Dry Utilities / Landscaping						
1	Dry Utilities	104	Lots	\$1,250.00	\$130,000	
2	Landscaping	185,000	S.F.	\$1.25	\$231,250	
3	Entry Feature / Theme Walls	1	L.S.	\$90,000.00	\$90,000	
	SUBTOTAL				\$451,250	



Franklin 643, LLC - Anthem at Merrill Ranch - Unit 43
PRELIMINARY OPINION OF PROBABLE COST
February 2018

No.	Description	Quantity	Unit	Unit Cost (\$)	Total Cost (\$)	Assumptions
	Miscellaneous Costs					
1	Construction Staking	104	E.A.	\$800.00	\$83,200	<i>Estimated</i>
2	Street Lights	23	EA.	\$2,500.00	\$57,200	<i>Estimated Quantity</i>
3	Mobilization	1	L.S.	\$5,000.00	\$5,000	
	SUBTOTAL				\$145,400	
	SUBTOTAL				\$1,899,111	
1	Contingency	1	L.S.	15.00%	\$284,867	
	GRAND TOTAL				\$2,183,977	

- 1 The Baxter Design Group is not a construction cost estimator or construction contractor, nor should our rendering an opinion of probable costs be considered equivalent to the nature and extent of service that a construction cost estimator or construction contractor would provide. This opinion is based solely upon our own experience with construction, requiring us to make a number of assumptions as to actual conditions that will be encountered on site; the specific decisions of other design professionals engaged; the means and methods that contractors will employ; the cost and extent of labor, equipment and materials the contractor will employ; the contractor' techniques in determining prices and market conditions at the time; and other factors over which the design professional has no control. Given the assumptions which must be made. Baxter Design Group cannot and does not guarantee the accuracy of our opinions of cost.
- 2 This opinion of probable cost does not include governing agency permitting or processing fees, water costs, developer's fee, legal fees, land costs, associated taxes and other soft costs, sales and marketing costs, design, or financing fees.

This cost budget does not include the \$3,500 Per Lot CFD Reimbursement discussed in Section 1 totaling \$364,000.